

Notice of Public Hearing – Committee of Adjustment Application

File # A-096/25 - 572 MILL ST

Date Mailed: December 24, 2025

Electronic hearing:

By videoconference on January 8, 2026 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on December 24, 2025. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

LEGAL DESCRIPTION: PLAN 49 LOT 45 W PT LOT 47

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	CD1.1/RD1.2/ RD3.1- S.20(1)236

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
Owner Name: NUBATIA PHARMACY INC. Applicant Name: Felix Culpa Architecture		572 MILL ST

PURPOSE OF APPLICATION

Minor Variance - Request for relief from the required parking spaces and from the minimum parking area separation from an interior lot line for a Medical Office with Pharmacy.

By-Law	Provision	Provision Description	Requirement	Proposed
Zoning By-Law 8600	24.20.5.1	Required Parking Spaces- Medical Office	12 spaces	5 spaces
Zoning By-Law 8600	25.5.20.1.3	Parking Area Separation from an Interior Lot Line	0.90m	0.80m

Type of Consent Application Transaction: N/A

How do I participate if I have comments or concerns?

Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

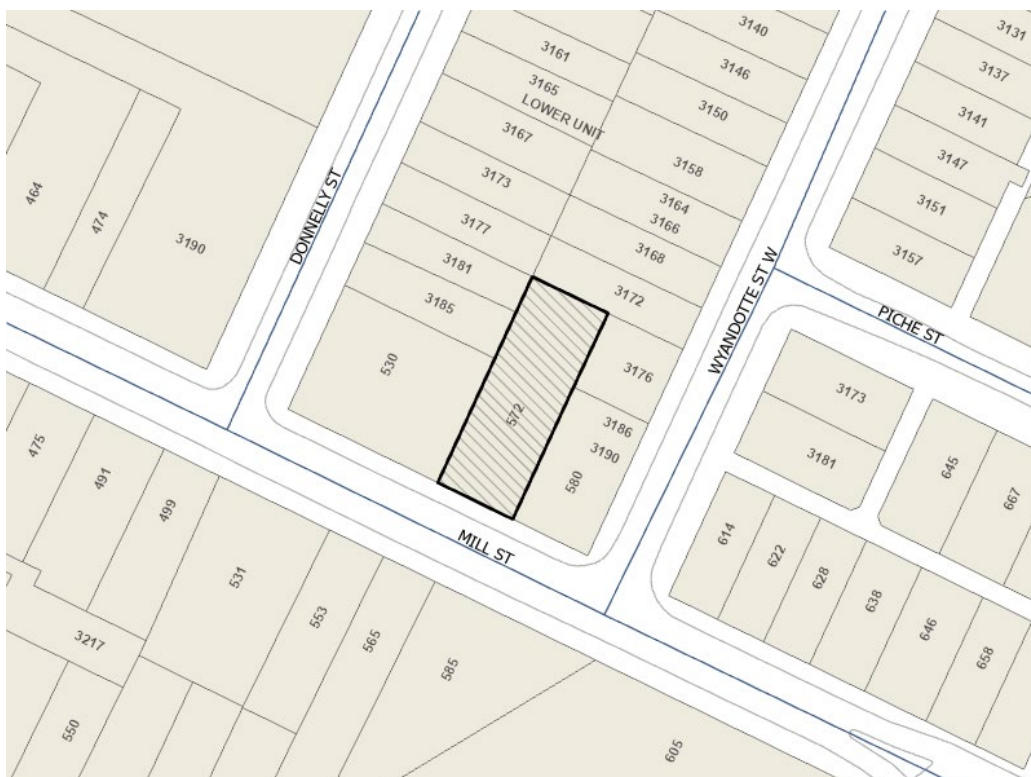
Participate in the hearing by videoconference (Microsoft Teams)

Two ways to register: 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

Applicant(s) – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer (jwatson@citywindsor.ca). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.



Contact Information:

Jessica Watson
Secretary-Treasurer
Committee of Adjustment
Suite 320, 350 City Hall Square West
Windsor, ON N9A6S1
Phone: 519-255-6543 ext. 6450 or 6436
COAdjustment@citywindsor.ca

572 MILL STREET - CLINIC/PHARMACY RETROFIT

572 Mill St, Windsor, ON N9C 2R8

ARCHITECT
Felix Culpa Architecture
2534 Seminole St
Windsor, ON
N8Y 1X4

(519) 890-5773

Contacts:
Brad Smith, OAA AIA
Principal Architect / Owner
brad@felixculpaarchitecture.com

Kylene Dupuis, AIBC
Intern Architect
kylene@felixculpaarchitecture.com

OWNER
Haitham Osman
Hospital & Health Care Professional

haitham19755@gmail.com
(647) 783-2644

INDEX OF DRAWINGS	
NO.	SHEET TITLE
A000	TITLE SHEET
A100	ARCHITECTURAL SITE PLAN
A200	EXISTING FLOOR PLAN
A201	DEMOLITION FLOOR PLAN
A202	PROPOSED FLOOR PLAN
A203	DIMENSION FLOOR PLAN
A250	PROPOSED REFLECTED CEILING PLAN



FELIX
CULPA

2534 Seminole St.
Windsor, Ontario N8Y 1X4
(519) 890-5773
www.felixculpaarchitecture.com

572 MILL STREET - CLINIC/PHARMACY RETROFIT

572 Mill St, Windsor, ON N9C 2R8

- GENERAL NOTES:
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
 - THESE DRAWINGS ARE NOT TO BE SCALED.
 - ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF FELIX CULPA ARCHITECTURE WHO RESERVES THE COPYRIGHT WITH RESPECT TO THIS DOCUMENT. IT SHALL NOT BE DUPLICATED, USED OR CIRCULATED FOR ANY OTHER PURPOSE FOR WHICH IT WAS ISSUED.
 - ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH MECHANICAL, ELECTRICAL AND STRUCTURAL ENGINEERING DRAWINGS (BY OTHERS, IF APPLICABLE).
 - THIS DISCIPLINE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, AND THE OTHER DISCIPLINES' INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE CONSULTANTS' DRAWINGS BEFORE PROCEEDING WITH THE WORK.
 - CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
 - THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM THEIR WORK.

Revisions

2	2025-11-21	Issued for Minor Variance
1	2025-11-17	Pre-Consultation Submission
Number	Date	Description
Drawn K DUPUIS		Preliminary
Checked B SMITH		Construction
Approved B SMITH		Record
		DO NOT SCALE Use figured dimensions only

Job Number

25-033

Drawing Title

TITLE SHEET

Sheet Number

A000

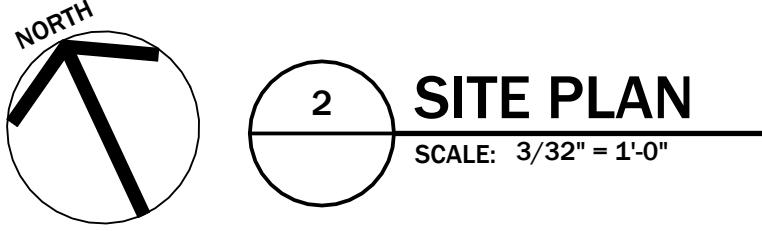
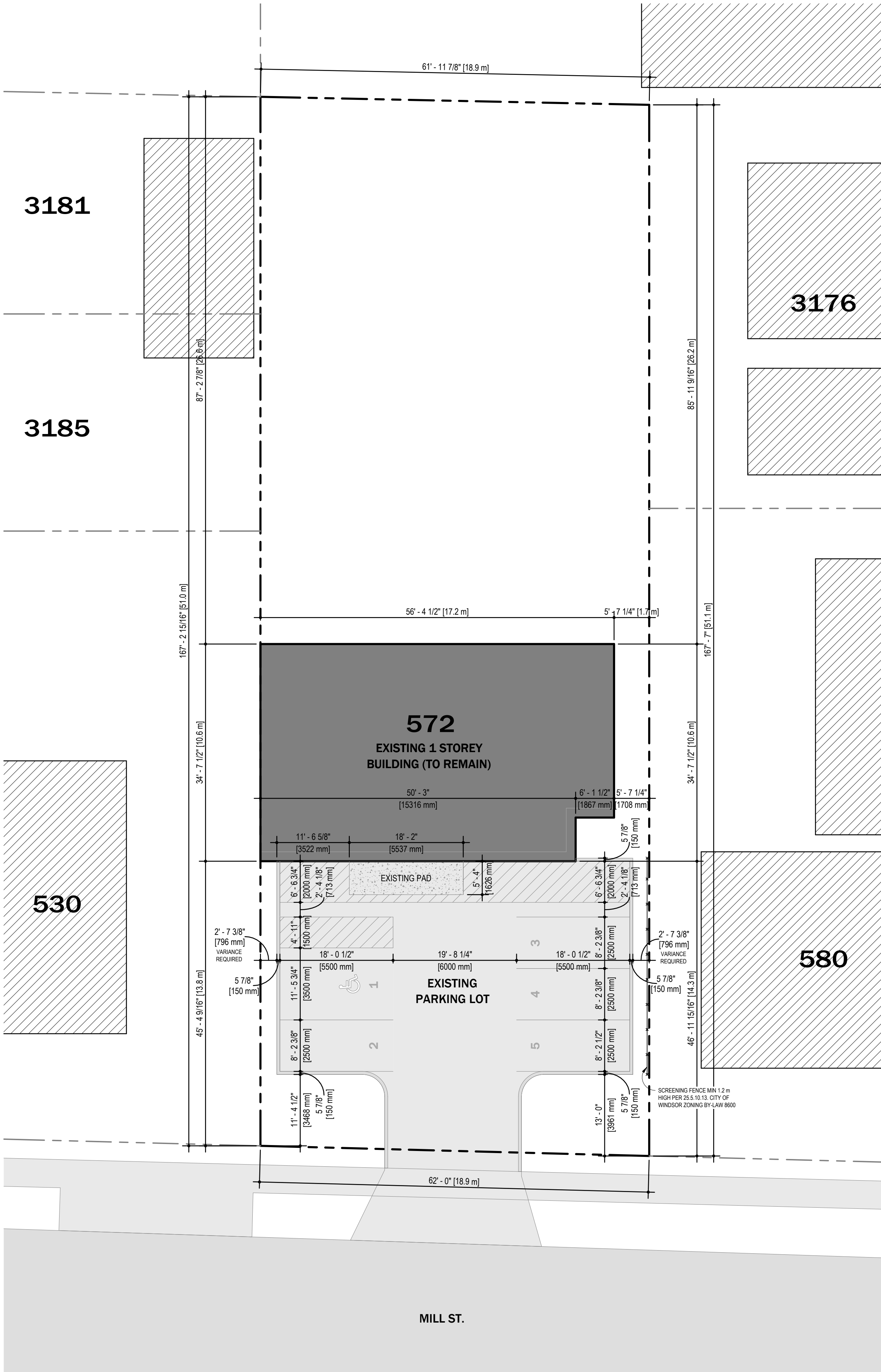
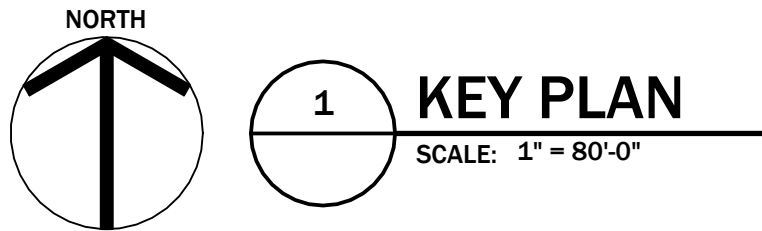
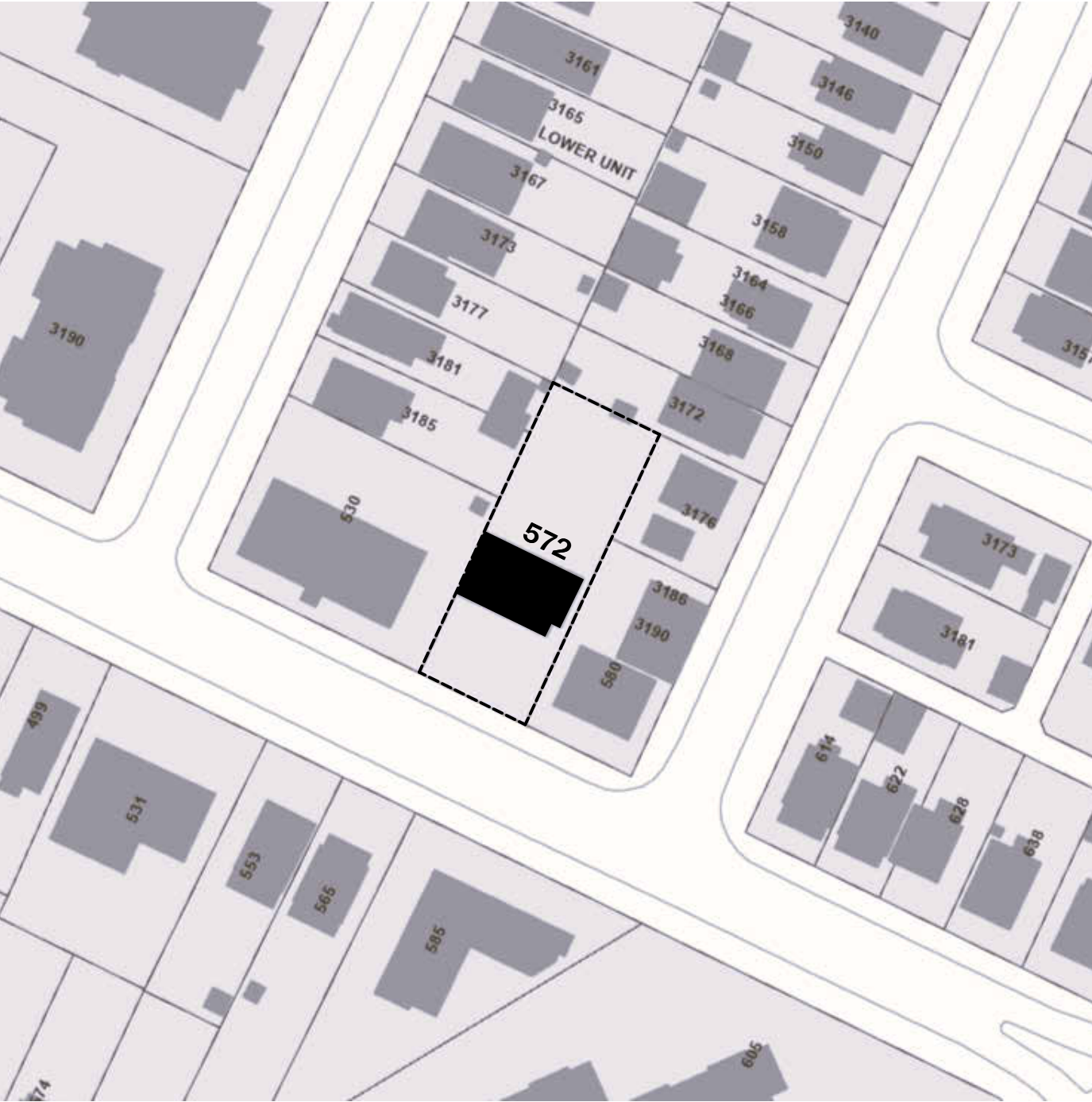
BUILDING CODE REVIEW - 2024 OBC

ITEM	DESCRIPTION	CODE REFERENCE
Project Address	572 Mill St, Windsor, ON N9C 2R8	--
Jurisdiction	City of Windsor	--
Applicable Code	2024 Ontario Building Code	--
Project Type	<input type="checkbox"/> New <input checked="" type="checkbox"/> Alteration <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Change of Use	1.1.1.
Major Occupancy	Group D (Business and Personal Services)	Table 3.1.2.1.
Type of Use	Medical Office	--
Building Classification	Group D, up to 2 Storeys	3.2.2.64.
Construction Type	Combustible or noncombustible	3.2.2.64.(2)
Fire Protection	No sprinkler system (existing); smoke alarms and portable extinguishers required	3.2.4.20. & 3.2.5.16.
Floor Area	160.7 m ²	--
Occupant Load Factor	9.30 m ² / person	Table 3.1.17.1.
Occupant Load	160.7 m ² / 9.30 = 17 occupants	--
Number of Exits	Minimum one exit required	3.4.2.1.(2)
Number of Water Closets	3 total - 1 water closet for each sex and 1 universal washroom	3.7.4.7.
Max Travel Distance	25 m	Table 3.4.2.1.-A
Accessibility Compliance	Accessibility for Ontarians with Disabilities Act (AODA)	--
Energy Code	OBC & National Energy Code of Canada for Buildings (NECB) 2020	--

ZONING INFORMATION

CITY OF WINDSOR ZONING BY-LAW 8600 - 14.1 COMMERCIAL DISTRICT 1.1 (CD1.1) & 24.20 PARKING SPACE PROVISIONS

	REQUIRED	PROPOSED
ZONE	COMMERCIAL DISTRICT 1.1 (CD1.1)	COMMERCIAL DISTRICT 1.1 (CD1.1)
PERMITTED USES	Business Office, Child Care Centre, Food Outlet - Take-out, Medical Office, Personal Service Shop, Professional Studio, Repair Shop - Light, Restaurant, Retail Store	Medical Office w/ Pharmacy as Accessory Use
LOT AREA	N/A	10,376 SF (964.0 m ²)
GROSS FLOOR AREA (MAX)	2,691 SF (250.0 m ²)	1,875 SF (174.1 m ²)
NUMBER OF STOREYS	N/A	1
BUILDING HEIGHT (MAX)	24'-7 1/4" (7.5 m)	14'-0" (4.3 m)
PARKING SPACES (MIN)	Medical Office: 1 for each 13.5 m ² GFA 174.1 m ² / 13.5 m ² = 12.9 = 12 spaces	5 (requires variance)
ACCESSIBLE PARKING SPACES (MIN)	1 - Type A	1 - Type A



NOTE: ARCHITECTURAL SITE PLAN FOR REFERENCE
ONLY REFER TO SURVEY BY OTHERS FOR ALL CIVIL
ENGINEERING INFORMATION

FELIX
CULPA

2534 Seminole St.
Windsor, Ontario N8Y 1X4
(519) 890-5773
www.felixculpaarchitecture.com

572 MILL STREET -
CLINIC/PHARMACY
RETROFIT

572 Mill St, Windsor, ON N9C 2R8

GENERAL NOTES:

- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
- THESE DRAWINGS ARE NOT TO BE SCALED.
- ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF FELIX CULPA ARCHITECTURE WHO RESERVES THE COPYRIGHT WITH RESPECT TO THIS DOCUMENT. IT SHALL NOT BE DUPLICATED, USED OR CIRCULATED FOR ANY OTHER PURPOSE FOR WHICH IT WAS ISSUED.
- ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH MECHANICAL, ELECTRICAL AND STRUCTURAL ENGINEERING DRAWINGS (BY OTHERS, IF APPLICABLE).
- THIS DISCIPLINE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, AND THE OTHER DISCIPLINES' INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE CONSULTANTS' DRAWINGS BEFORE PROCEEDING WITH THE WORK.
- CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM THEIR WORK.

Revisions

2	2025-11-21	Issued for Minor Variance
1	2025-11-17	Pre-Consultation Submission

Number	Date	Description
Drawn K DUPUIS		Preliminary
Checked B SMITH		Construction
Approved B SMITH		Record
		DO NOT SCALE Use figured dimensions only

Job Number

25-033

Drawing Title

ARCHITECTURAL SITE
PLAN

Sheet Number

A100

572 MILL STREET - CLINIC/PHARMACY RETROFIT

572 Mill St, Windsor, ON N9C 2R8

GENERAL NOTES:

1. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
2. THESE DRAWINGS ARE NOT TO BE SCALED.
3. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF FELIX CULPA ARCHITECTURE WHO RESERVES THE COPYRIGHT WITH RESPECT TO THIS DOCUMENT. IT SHALL NOT BE DUPLICATED, USED OR CIRCULATED FOR ANY OTHER PURPOSE FOR WHICH IT WAS ISSUED.
4. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH MECHANICAL, ELECTRICAL AND STRUCTURAL ENGINEERING DRAWINGS (BY OTHERS, IF APPLICABLE).
5. THIS DISCIPLINE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, AND THE OTHER DISCIPLINES' INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE CONSULTANTS' DRAWINGS BEFORE PROCEEDING WITH THE WORK.
6. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
7. THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM THEIR WORK.

Revisions

2	2025-11-21	Issued for Minor Variance
1	2025-11-17	Pre-Consultation Submission

Number	Date	Description
Drawn K DUPUIS		Preliminary
Checked B SMITH		Construction
Approved B SMITH		Record
		DO NOT SCALE Use figured dimensions only

Job Number

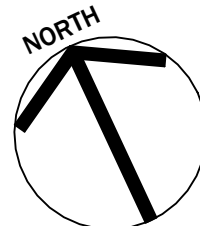
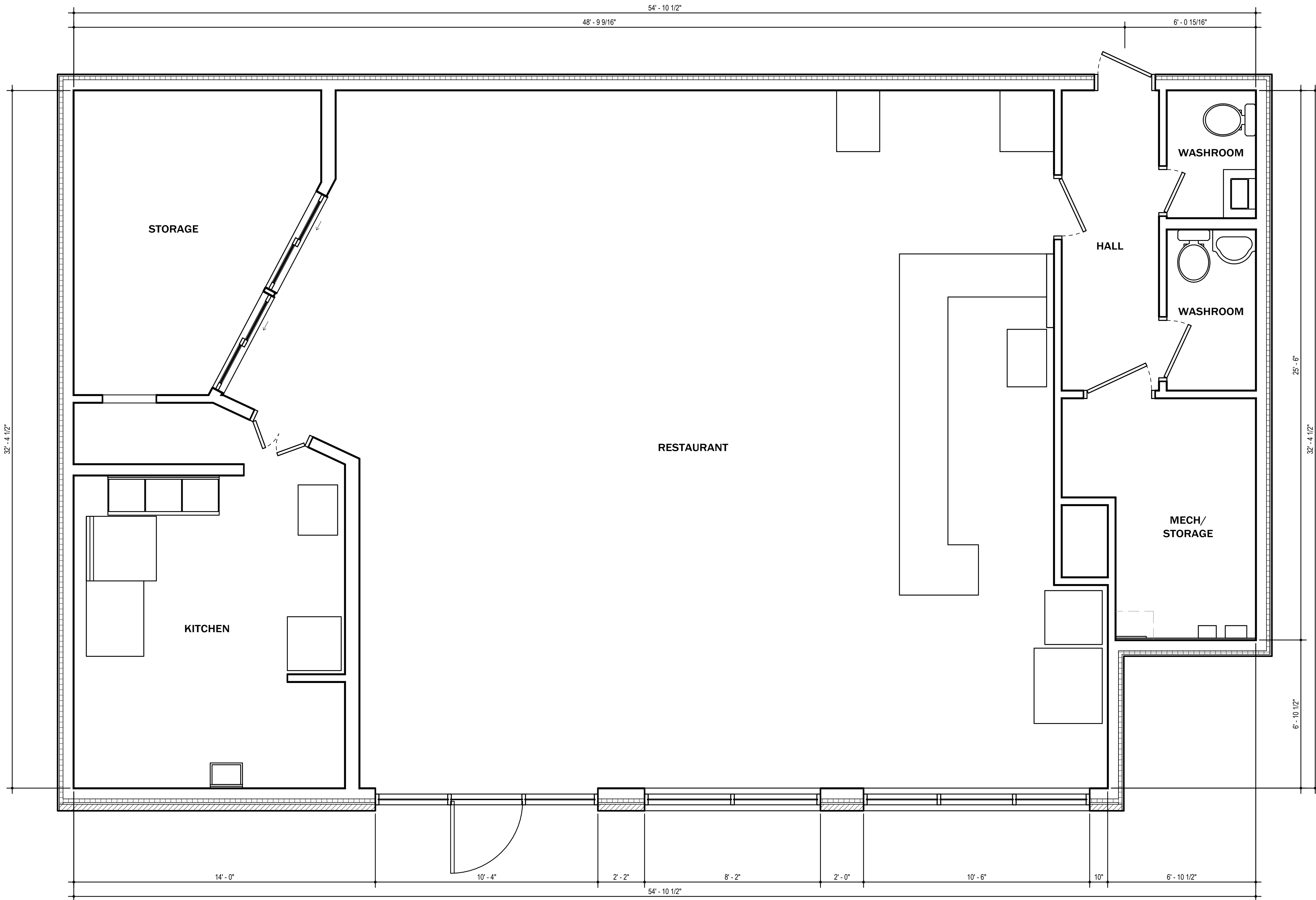
25-033

Drawing Title

EXISTING FLOOR PLAN

Sheet Number

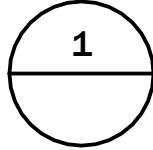
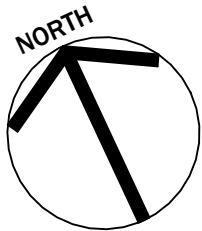
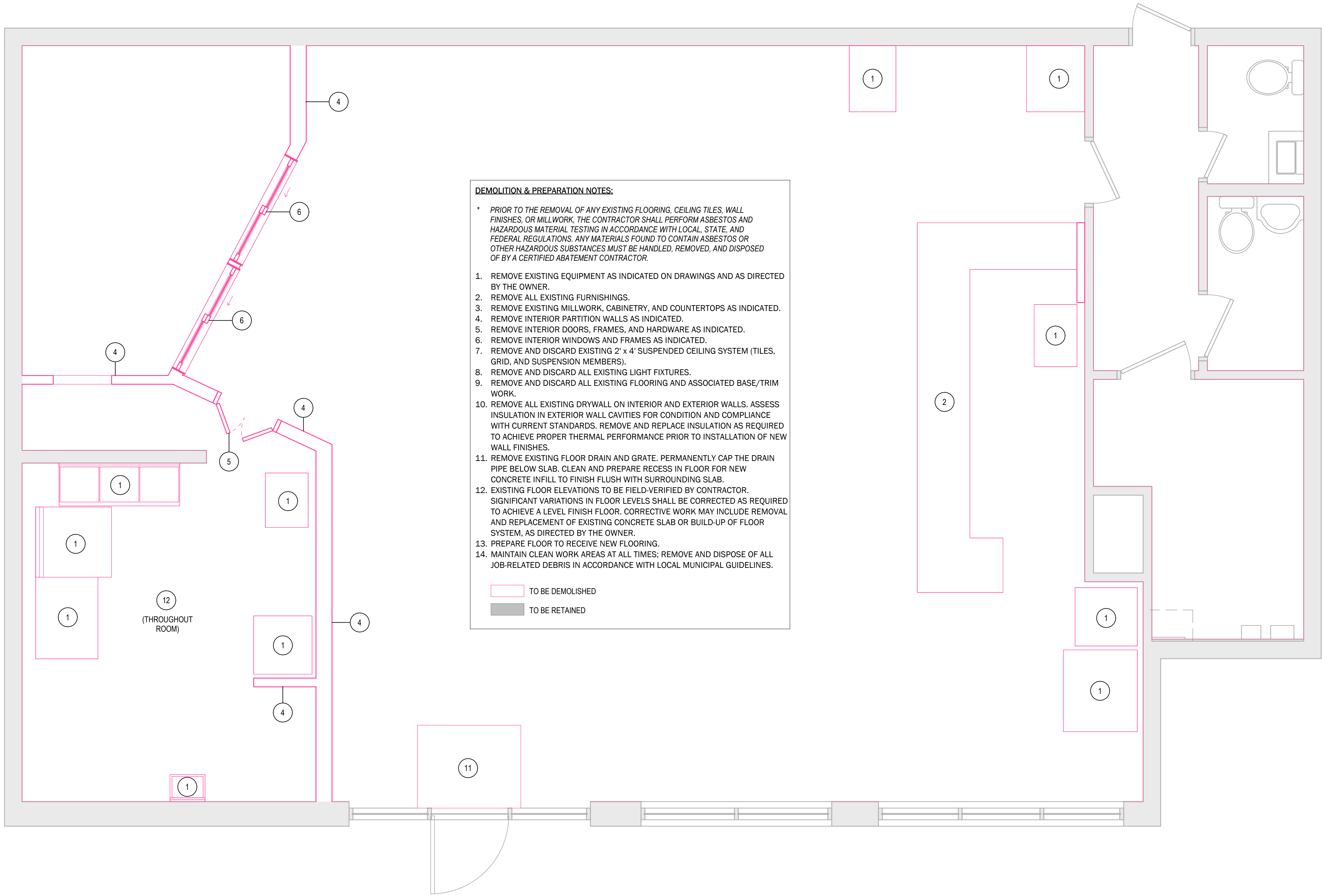
A200



1

EXISTING FLOOR PLAN

SCALE: 3/8" = 1'-0"



DEMOLITION FLOOR PLAN
SCALE: 3/8" = 1'-0"

DEMOLITION & PREPARATION NOTES:

- * PRIOR TO THE REMOVAL OF ANY EXISTING FLOORING, CEILING TILES, WALL FINISHES, OR MILLWORK, THE CONTRACTOR SHALL PERFORM ASBESTOS AND HAZARDOUS MATERIAL TESTING IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS. ANY MATERIALS FOUND TO CONTAIN ASBESTOS OR OTHER HAZARDOUS SUBSTANCES MUST BE HANDLED, REMOVED, AND DISPOSED OF BY A CERTIFIED ABATEMENT CONTRACTOR.
- 1. REMOVE EXISTING EQUIPMENT AS INDICATED ON DRAWINGS AND AS DIRECTED BY THE OWNER.
- 2. REMOVE ALL EXISTING FURNISHINGS.
- 3. REMOVE EXISTING MILLWORK, CABINETRY, AND COUNTERTOPS AS INDICATED.
- 4. REMOVE INTERIOR PARTITION WALLS AS INDICATED.
- 5. REMOVE INTERIOR DOORS, FRAMES, AND HARDWARE AS INDICATED.
- 6. REMOVE INTERIOR WINDOWS AND FRAMES AS INDICATED.
- 7. REMOVE AND DISCARD EXISTING 2' x 4' SUSPENDED CEILING SYSTEM (TILES, GRID, AND SUSPENSION MEMBERS).
- 8. REMOVE AND DISCARD ALL EXISTING LIGHT FIXTURES.
- 9. REMOVE AND DISCARD ALL EXISTING FLOORING AND ASSOCIATED BASE/TRIM WORK.
- 10. REMOVE ALL EXISTING DRYWALL ON INTERIOR AND EXTERIOR WALLS. ASSESS INSULATION IN EXTERIOR WALL CAVITIES FOR CONDITION AND COMPLIANCE WITH CURRENT STANDARDS. REMOVE AND REPLACE INSULATION AS REQUIRED TO ACHIEVE PROPER THERMAL PERFORMANCE PRIOR TO INSTALLATION OF NEW WALL FINISHES.
- 11. REMOVE EXISTING FLOOR DRAIN AND GRATE. PERMANENTLY CAP THE DRAIN PIPE BELOW SLAB. CLEAN AND PREPARE RECESS IN FLOOR FOR NEW CONCRETE INFILL TO FINISH FLUSH WITH SURROUNDING SLAB.
- 12. EXISTING FLOOR ELEVATIONS TO BE FIELD-VERIFIED BY CONTRACTOR. SIGNIFICANT VARIATIONS IN FLOOR LEVELS SHALL BE CORRECTED AS REQUIRED TO ACHIEVE A LEVEL FINISH FLOOR. CORRECTIVE WORK MAY INCLUDE REMOVAL AND REPLACEMENT OF EXISTING CONCRETE SLAB OR BUILD-UP OF FLOOR SYSTEM, AS DIRECTED BY THE OWNER.
- 13. PREPARE FLOOR TO RECEIVE NEW FLOORING.
- 14. MAINTAIN CLEAN WORK AREAS AT ALL TIMES; REMOVE AND DISPOSE OF ALL JOB-RELATED DEBRIS IN ACCORDANCE WITH LOCAL MUNICIPAL GUIDELINES.

- TO BE DEMOLISHED
- TO BE RETAINED

**572 MILL STREET -
CLINIC/PHARMACY
RETROFIT**

572 Mill St, Windsor, ON N9C 2R8

GENERAL NOTES:

1. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
2. THESE DRAWINGS ARE NOT TO BE SCALED.
3. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF FELIX CULPA ARCHITECTURE WHO RESERVES THE COPYRIGHT WITH RESPECT TO THIS DOCUMENT. IT SHALL NOT BE DUPLICATED, USED OR CIRCULATED FOR ANY OTHER PURPOSE FOR WHICH IT WAS ISSUED.
4. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH MECHANICAL, ELECTRICAL AND STRUCTURAL ENGINEERING DRAWINGS (BY OTHERS, IF APPLICABLE).
5. THIS DISCIPLINE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, AND THE OTHER DISCIPLINES' INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE CONSULTANTS' DRAWINGS BEFORE PROCEEDING WITH THE WORK.
6. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
7. THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM THEIR WORK.

Revisions

2	2025-11-21	Issued for Minor Variance
1	2025-11-17	Pre-Consultation Submission

Number	Date	Description
Drawn K DUPUIS		Preliminary
Checked B SMITH		Construction
Approved B SMITH		Record
		DO NOT SCALE Use figured dimensions only

Job Number

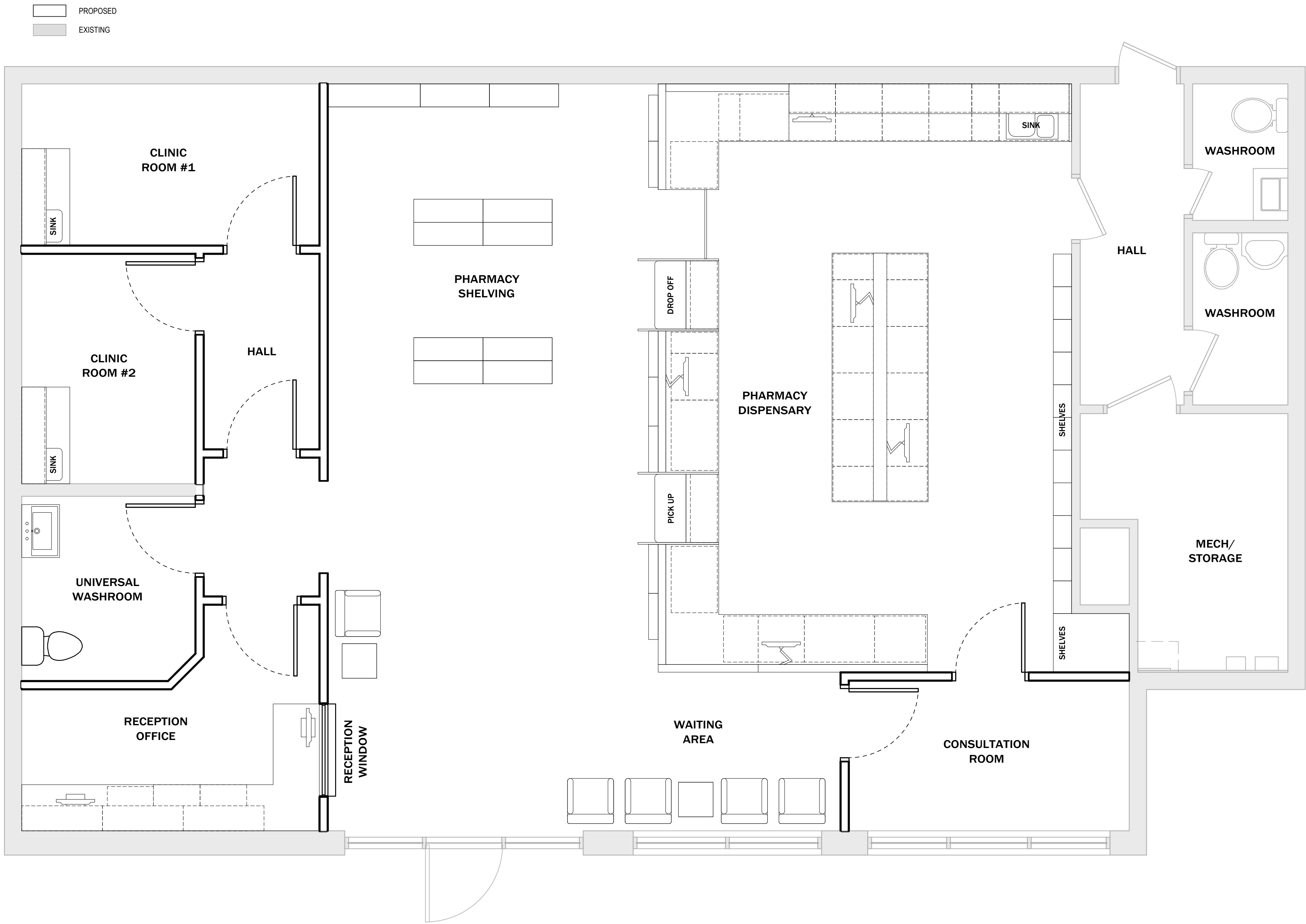
25-033

Drawing Title

**DEMOLITITON FLOOR
PLAN**

Sheet Number

A201



572 MILL STREET -
CLINIC/PHARMACY
RETROFIT

572 Mill St, Windsor, ON N9C 2R8

GENERAL NOTES:

1. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
2. THESE DRAWINGS ARE NOT TO BE SCALED.
3. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF FELIX CULPA ARCHITECTURE WHO RESERVES THE COPYRIGHT WITH RESPECT TO THIS DOCUMENT. IT SHALL NOT BE DUPLICATED, USED OR CIRCULATED FOR ANY OTHER PURPOSE FOR WHICH IT WAS ISSUED.
4. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH MECHANICAL, ELECTRICAL AND STRUCTURAL ENGINEERING DRAWINGS (BY OTHERS, IF APPLICABLE).
5. THIS DISCIPLINE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, AND THE OTHER DISCIPLINES' INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE CONSULTANTS DRAWINGS BEFORE PROCEEDING WITH THE WORK.
6. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
7. THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM THEIR WORK.

Revisions

2	2025-11-21	Issued for Minor Variance
1	2025-11-17	Pre-Consultation Submission

Number	Date	Description
Drawn K DUPUIS		Preliminary
Checked B SMITH		Construction
Approved B SMITH		Record
		DO NOT SCALE Use figured dimensions only

Job Number

25-033

Drawing Title

**PROPOSED FLOOR
PLAN**

Sheet Number

A202

572 MILL STREET -
CLINIC/PHARMACY
RETROFIT

572 Mill St, Windsor, ON N9C 2R8

GENERAL NOTES:

- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY CONSTRUCTION.
- THESE DRAWINGS ARE NOT TO BE SCALED.
- ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF FELIX CULPA ARCHITECTURE WHO RESERVES THE COPYRIGHT WITH RESPECT TO THIS DOCUMENT. IT SHALL NOT BE DUPLICATED, USED OR CIRCULATED FOR ANY OTHER PURPOSE FOR WHICH IT WAS ISSUED.
- ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH MECHANICAL, ELECTRICAL AND STRUCTURAL ENGINEERING DRAWINGS (BY OTHERS, IF APPLICABLE).
- THIS DISCIPLINE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, AND THE OTHER DISCIPLINES' INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE CONSULTANTS' DRAWINGS BEFORE PROCEEDING WITH THE WORK.
- CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM THEIR WORK.

Revisions

2	2025-11-21	Issued for Minor Variance
1	2025-11-17	Pre-Consultation Submission

Number	Date	Description
Drawn K DUPUIS		Preliminary
Checked B SMITH		Construction
Approved B SMITH		Record
		DO NOT SCALE Use figured dimensions only

Job Number

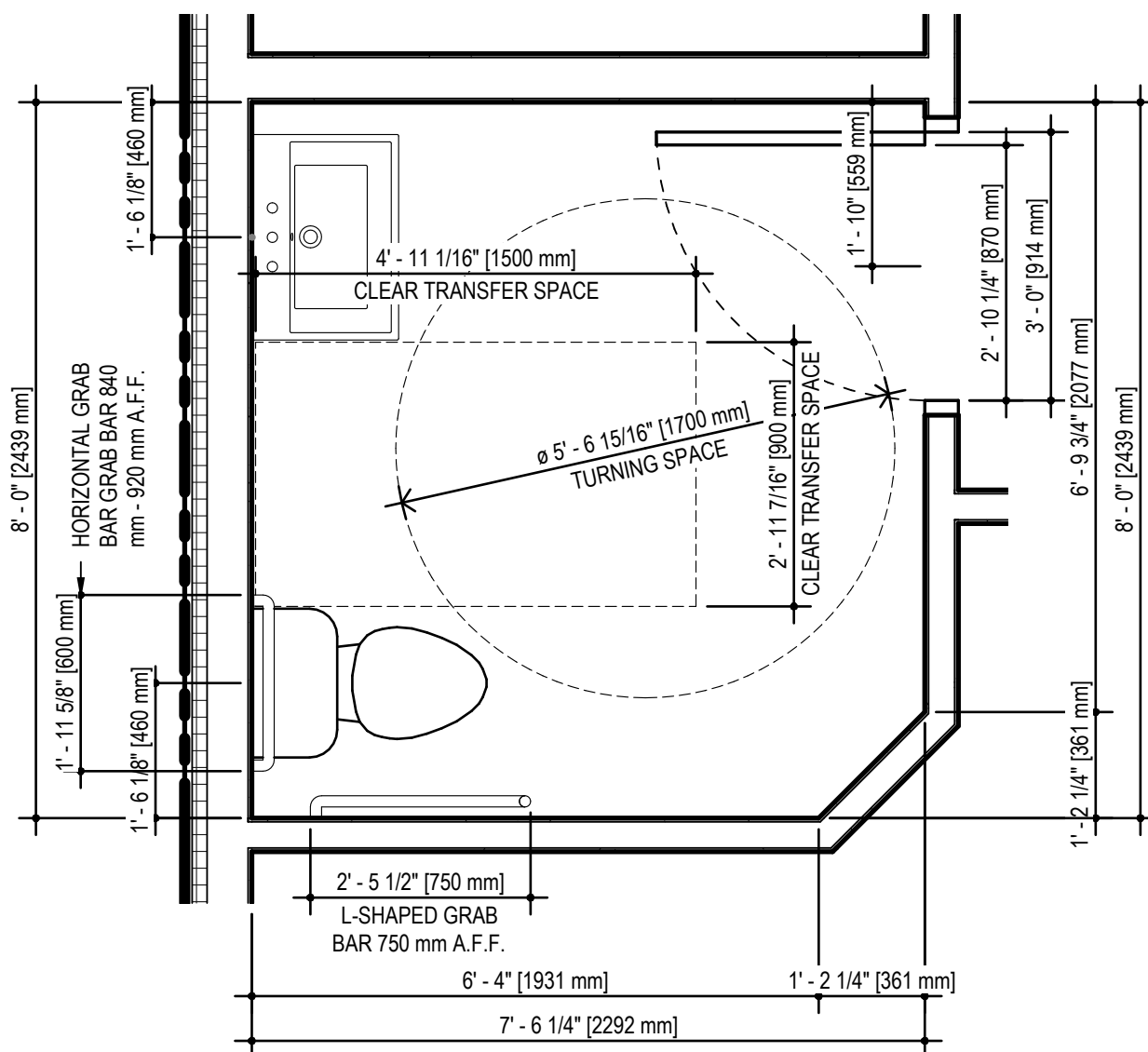
25-033

Drawing Title

DIMENSION FLOOR
PLAN

Sheet Number

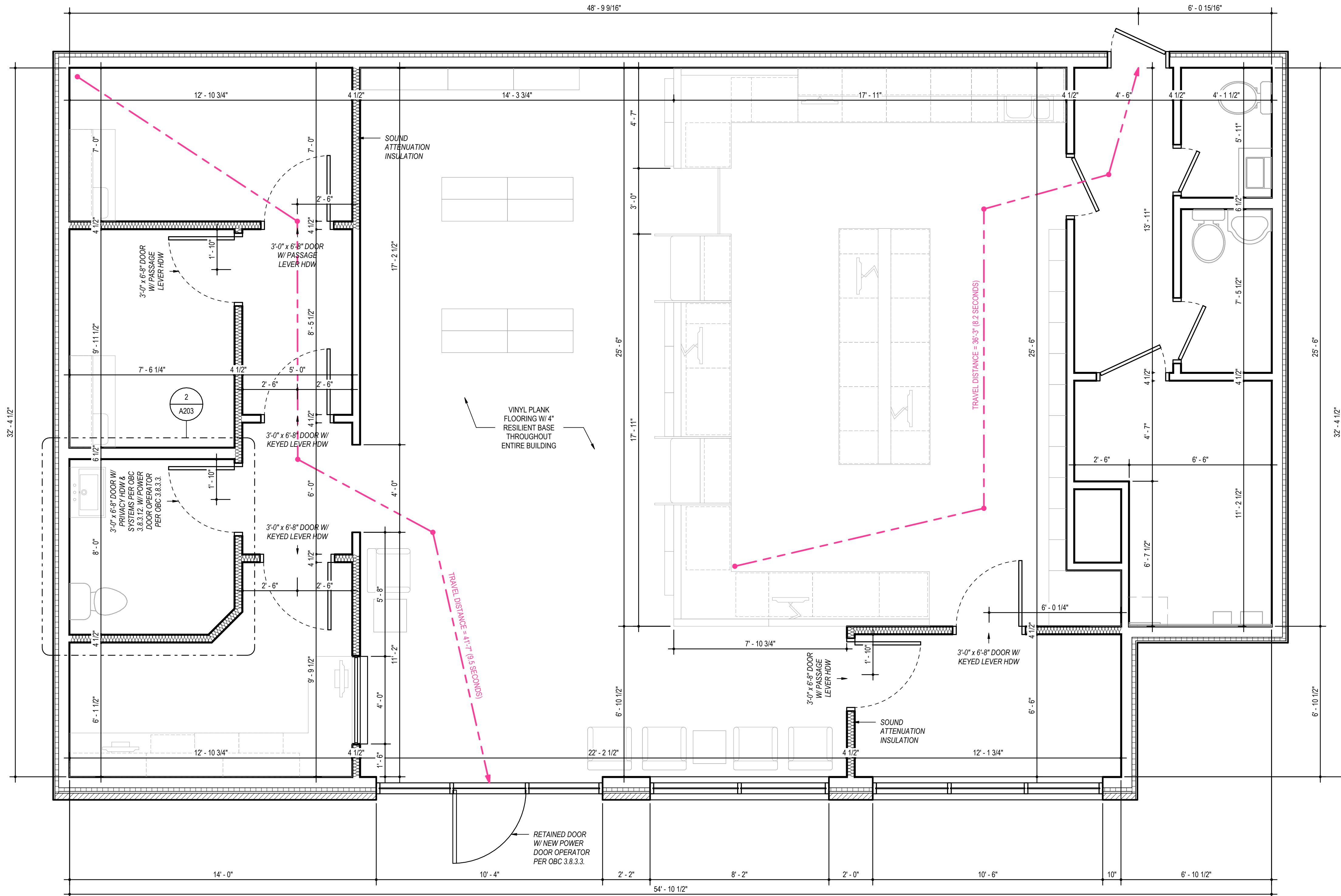
A203



2

UNIVERSAL WASHROOM

SCALE: 1/2" = 1'-0"

NOTE: UNIVERSAL WASHROOM TO
COMPLY WITH 2024 OBC 3.8.3.12.

1

DIMENSION FLOOR PLAN

SCALE: 3/8" = 1'-0"

MEMORANDUM

TO

Nubatia Pharmacy Inc.
Attn: Haitham Osman
572 Mill Street
Windsor, On.
N9C 2R8

FROM

Vuk Uskokovic

PROJECT

8444-01
572 Mill Street

DATE

November 21, 2025

RE: 572 MILL STREET – VEHICLE PARKING REVIEW

1.0 INTRODUCTION

BA is retained by Nubatia Pharmacy Inc. to provide transportation consultation services regarding a change of use for the subject site located at 572 Mill Street in Windsor Ontario. The following letter provides a review of the proposed vehicle parking supply, the parking requirements as per the City of Windsor Zoning By-law 8600, and a justification for the proposed reduction of parking requirements from the City of Windsor By-law 8600.

The site proposes to permit the operation of *Medical Office* use within the existing building on site (existing building to remain), which was previously operating as a restaurant. As part of the application, the City of Windsor identified a deficiency in the proposed parking supply relative to the City of Windsor Zoning By-law 8600.

This memorandum provides a review of the proposed parking supply as well as a justification for the reduction parking relative to the City of Zoning By-law 8600.

2.0 VEHICLE PARKING REVIEW

2.1 Parking Supply

2.1.1 Existing Parking Supply

It is noted that the building on-site has been operational as a restaurant serviced by approximately 5-6 unmarked parking spaces within the existing parking lot in front of the building.

2.1.2 Proposed Parking Supply

It is proposed to provide 5 parking spaces, including 1 accessible parking space in front of the existing building.

2.2 Vehicle Parking Requirement – Zoning By-law 8600

A summary of the parking requirements for the exiting restaurant use and the proposed medical Office use is summarized below in **Table 1**. It is noted that Zoning By-law 8600 provides alternate parking requirements for *Business Improvement Areas* (BIA), and for other areas of the city. While the site is located outside of a BIA, **Table 1** shows the alternate BIA requirements for comparison purposes to the existing restaurant parking supply and proposed medical office use. Since the site will operate as a pharmacy, the parking rates for the pharmacy use is also illustrated for comparison in **Table 1**. Based on the applicable “all other areas of the city” the existing restaurant would require 23 parking spaces, and the proposed medical office use would require 12 spaces. A Pharmacy use would require only 7 spaces.

Table 1 City of Windsor By-law 8600 – Vehicle Parking Requirements

Use	Units/GFA	Parking Rate Required	Parking Spaces Required
All Other Areas			
Restaurant (Existing)	174.1 m ²	1 for each 7.5m ² GFA	23 spaces
Medical Office (Proposed)		1 for each 13.5m ² GFA	12 spaces
Pharmacy		1 for each 22.5m ² GFA	7 spaces
Business Improvement Areas			
Restaurant (Existing)	174.1m ²	0 for first 90 m ² and 1 for each additional 15m ² GFA	5 spaces
Medical Office (Proposed)		0 (No Requirement)	0 spaces
Pharmacy		0 (No requirement)	0 spaces

Notes:

1. As per Section 24.20.7.1.3, if the calculation of a parking space results in a fraction, the number shall be rounded down to the nearest whole number but may not be less than 1 parking space except when the parking rate is 0.

2.3 Parking Justification

2.3.1 Comparison to the Parking Requirement of By-law 8600 – All Other Areas

It is noted that the proposed 5 parking spaces are deficient relative to the By-law 8600 for the restaurant, medical office and pharmacy uses. However the existing restaurant use, which is permitted on the site and has been operating on the site prior to this application, requires significantly more parking in the by-law (23 spaces) than currently exists on the site (approximately 5-6 spaces) and requires significantly more parking the proposed medical office use (12 spaces) or pharmacy (7 spaces).

The existing site has been well served as a restaurant by the existing 5-6 unmarked parking spaces and would continue to be permitted to operate as a restaurant despite the shortage of parking to the prevailing by-law.

While the proposed supply of 5 spaces are deficient to the existing and proposed uses, it is only slightly deficient to the 7 spaces required for pharmacy use. Nubitia Pharmacy is intended to also operate as a pharmacy business in addition to the medical office component. It is noted that the Zoning By-law 8600 requires a significantly smaller parking requirement for pharmacy than for restaurants or medical office.

When considering the site as both a pharmacy and a medical office, the proposed parking deficiency is significantly lower than relative to a medical office individually, and represents a relatively minor reduction in prevailing parking requirements.

2.3.2 Comparison to Business Improvement Areas

While the site does not fall within a Business Improvement Areas (BIA), it is noted that the existing 5-6 unmarked restaurant parking spaces are in line with the 5 parking spaces required for restaurant uses within a business improvement area (as outlined in **Table 1**). Since the existing site has been operational with the existing parking supply, it is reasonable to note that the site can operate with parking rates more closely aligned to the Business Improvement Areas (BIA). Both Medical Office and Pharmacy uses require 0 parking within a Business Improvement Area within By-law 8600.

The existing restaurant parking meets and reflects the parking requirements of the BIA, while the proposed 5 parking spaces significantly exceeds the parking requirements of Pharmacy and Medical Office uses within a BIA.

It is again acknowledged that the subject site is not within a BIA, however the proposed parking supply of 5 spaces exceeds the 0 parking spaces required in a BIA. While it is not proposed to adopt the BIA rates, they should be considered as part of a rationale to find an appropriate minimum parking rate somewhere between the BIA and all other areas.

2.3.3 Occupancy Load

The architectural site statistics note an occupant load of 17 occupants (the floor area as per OBC remains 160.7 m²). Relative to the proposed vehicle parking supply of 5 spaces, this represents a rate of 1 vehicle space per 3.4 people of occupancy load.

Given that not all customers will be commuting as single occupant vehicle trips, and buildings are generally not expected to be at maximum capacity loads for significant durations. Relative to the building occupancy of 17 people, the proposed 5 parking stalls reflect a substantial number of vehicles to occupant load.

2.3.4 Proximity to Transit

The site is well served by 2 bus stops. A bus stop located directly adjacent to the site driveway on Mill Street with bus service from Bus lines Transway 1C and Route 418X. Another Bus stop, located on Wyandotte St W, provides access to bus lines Crosstown Route 2 and Central 3. The combined bus routes provide excellent access to the surrounding community and beyond.

The availability of multiple bus lines allows users of the pharmacy excellent access to the proposed pharmacy without the need to use a vehicle.

3.0 SUMMARY

The proposed 5 vehicle parking spaces represent a deficiency in required parking for the proposed uses on the site, as well as a more significant deficiency relative to the existing approved restaurant uses which have been operational on the site with deficient parking. The proposed parking supply is considered appropriate given that:

- the site's proposed parking has been functionally used for a use requiring significantly higher parking (23 restaurant spaces required) than the proposed new uses (12 medical office spaces and 7 pharmacy: spaces required).
- the proposed parking supply falls in between the "All Other Areas" and the Business Improvement Areas (BIA) rate, and that the existing restaurant parking supply is more in line with BIA restaurant parking requirements than the "All Other Areas" requirement.
- The proposed 5 parking spaces represents a substantial vehicle supply relative to the building's capacity load of 17 people.
- the site is well served by 4 transit lines within close proximity to the site
- Comments received from City staff note that:

"The parking Study may reference general compliance with Section 25 of the Zoning By-law"