



COMMITTEE OF ADJUSTMENT

APPLICANT : 2231068 ONTARIO CORP.

ADDRESS : 5650 TECUMSEH ROAD EAST

 SUBJECT LANDS

N.T.S.



CITY OF WINDSOR

File: A-072/24

COMMITTEE OF ADJUSTMENT PUBLIC HEARING

PURSUANT to Section 45 of the Planning Act, a Committee of Adjustment public hearing will be held to consider a minor variance to Zoning By-law 8600. This is not an application for a zoning change.

You are receiving this notice of hearing as a courtesy because the Committee of Adjustment identified your property as located within a 40 meters circulation area of the subject lands. Notice as required by the Planning Act was given by publication of the Committee of Adjustment's Agenda Record in the Windsor Star on December 4, 2024.

APPLICATION FOR MINOR VARIANCE – Relief from the operation of Zoning By-law 8600

Owner: 2231068 ONTARIO CORP. **Location:** 5650 TECUMSEH RD E
Legal Description: PLAN 919; PT LOTS 9 & 10; RP 12R26571; PART 1 **Zoning:** Commercial CD2.1
Official Plan: Mixed Use
Explanation: Accommodate a retail space with reduced minimum number of parking spaces, thereby requesting the following relief:

Section [24.20.5.1 - Required Number of Parking Spaces

By Law Requirements	Proposed
22 spaces	18 spaces

COMMITTEE OF ADJUSTMENT HEARING - 519-255-6543 ext 6436 or 6450

When: December 19, 2024 at 3:30 PM

Where: VIA VIDEO CONFERENCE

(information on how to join the public meeting will be on the City of Windsor website prior to the meeting date)

You are invited to attend this hearing and express any interest you may have in this application. Written comments are also acceptable and may be submitted in person, by mail, by fax or by email. All comments must be received **NO LATER than 4:30PM on the Wednesday, prior to the meeting date.** Comments received after such, will not be included at time of hearing.

The applicant or agent must attend the meeting. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you. To be notified of the decision of the Committee of Adjustment regarding this application, you must submit a written request to the Secretary-Treasurer.

It is the practice of Committee of Adjustment members to visit the site prior to considering this application. Administrative comments are available by email after 12:00 noon on the Friday prior to the hearing.

Jessica Watson
Secretary-Treasurer, Committee of Adjustment

Dated: December 5, 2024

Suite 210, 350 City Hall Square West
Windsor ON N9A 6S1

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Fax: 519-255-6544
Email: jwatson@citywindsor.ca
Web: www.citywindsor.ca

1	Application Information		
	Name of ALL Owners Christopher Zuski of 2231068 Ontario Corp.	Contact No. 1-416-520-7669	Business Telephone No. 1-416-520-7669
	Address 6415 Tecumseh Rd E, Windsor, Ontario	Postal Code N8T 1E7	
	E-Mail Address: chriszuski@gmail.com		
2	Name of Contact Person/Agent (if different than owner) Jerry Kavanaugh (of Architectural Design Associate Inc.)	Contact No. 519-254-3430	Business Telephone No. 519-254-3430
	Address 1670 Mercer St., Windsor, Ontario	Postal Code N8X 3P7	Fax No.
	E-Mail Address: csnaden@ada-architect.ca		
PAYMENT CONTACT INFORMATION ONLY:			
Name: Norbert Bolger			
Contact No.: 519-736-1892			
3	Date application submitted to the City of Windsor. 2024/10/23		
4	Present Official Plan Provisions applying to the land: Previous use was Fire Hall. Building is currently vacant		
5	Present Zoning By-law provisions applying to the land: CD2.1		
6	Nature and extent of relief applied for: (you MUST list each By-law Section etc. and relief requested) The existing structure will be undergoing renovations with the intent to change the use of this building to Retail. As a result of this change under Zoning By-law 8600 Section 24.20.5, the number of required parking spaces increases which causes the existing parking conditions to be insufficient for the intended use of the building. Relief is being requested on the number of required parking spaces. Under retail use 22 parking spaces are required, as per Tbl. (24.20.5.1.); 516.12 / 22.5= 22 spaces. Relief for 4 parking spaces is being requested as existing conditions provide 18 parking spaces.		
7	State why it is NOT possible to comply with the provisions of the by-law. (Must be complete) To allow for limited site disruption intentions were to utilize existing parking conditions. A portion of this building will be used for material storage and will need limited parking associated to it.		
8	Legal Description of the Subject Land(s)		
	Municipality Windsor	Street Name Tecumseh Road East	Street Address 5650
	Concession Number(s)	Registered/reference Plan No. 12R26571	Lot/Part No.(s) PLAN 919; PT LOTS 9 & 10
9	Parcel No.		
10	Dimensions of Land Affected: THIS SECTION MUST BE COMPLETE		
	Lot Frontage/Width 47.85	Depth Varies (48.56 - 57.46)	Lot Area 26777
11	Access (check appropriate space)	Provincial Highway Municipal road, maintained all year Municipal road, seasonally maintained Other public road Right of way Water only. If yes, the docking facilities to be used and the approximate distance of these facilities from the subject land and the nearest public road _____	Yes <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>
12	Water Supply	Publicly owned and operated piped water system... Privately owned and operated..... Individual or communal well..... Lake or other water body..... Other _____	Yes <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> No <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
13	Sewage Disposal	Publicly owned and operated piped sewage system..... Privately owned and operated individual or communal septic tank system..... Pit, privy, or other _____	Yes <input checked="" type="checkbox"/> <input type="checkbox"/> No <input type="checkbox"/> <input checked="" type="checkbox"/>

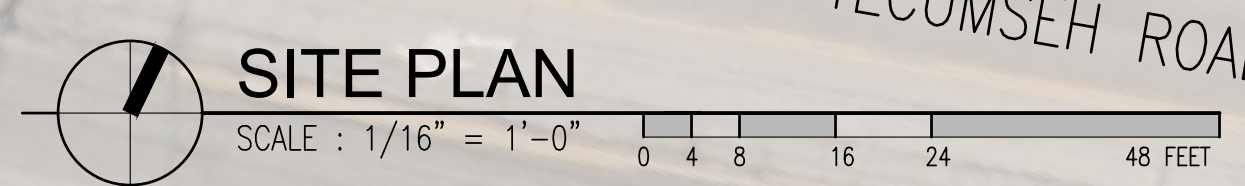
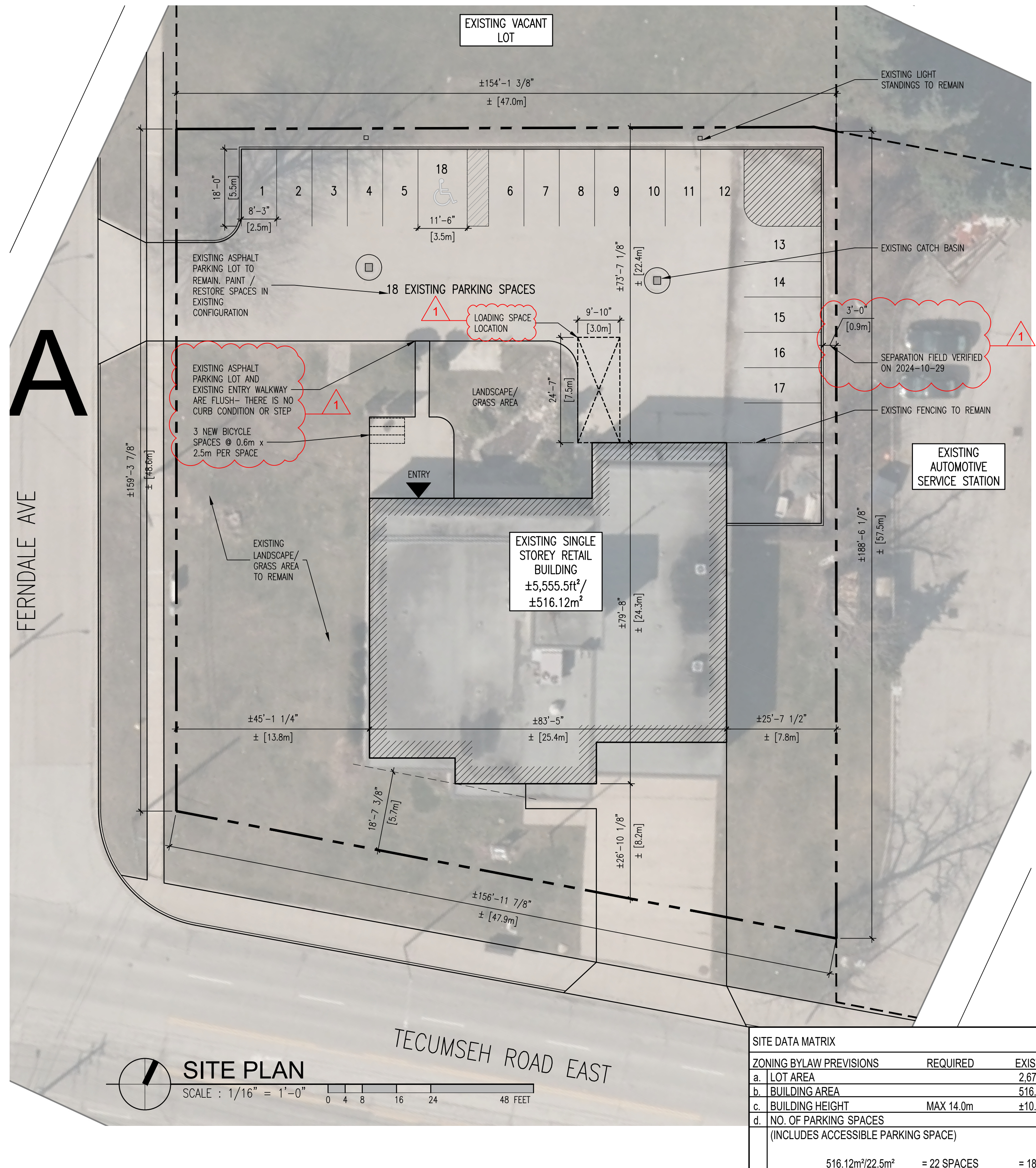
12	Storm Drainage	Municipal Sewers Ditches or Swales Other (specify)	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
13	The existing uses of the subject land: Previous use was Fire Hall. Currently Vacant NOTE: legal non-conforming use applications <u>must</u> provide evidence to support its status to the Planning Department (Zoning Coordinator and Planner).			
14	The proposed uses of the subject land: Retail			
15	Whether any buildings or structures are proposed to be built on the subject land. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown If the answer to item 15 is yes, for each building or structure please provide on the drawing submitted the type of building or structure, the setback from the front lot line, rear lot line, and side lot lines, the height in metres of the building or structure and the dimensions or floor area of the building or structure.			
16	Date the subject land was acquired by the current owner.			<input checked="" type="checkbox"/> Unknown
17	The date the existing buildings or structures on the subject land were constructed.			<input checked="" type="checkbox"/> Unknown
18	The length of time that the existing uses of the subject land have continued.			<input checked="" type="checkbox"/> Unknown
19	If known, whether the subject land has ever been the subject of an application under section 45 of the Act? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown If yes, describe briefly: Year: _____ Type of Relief: _____			
20	If known, whether the subject land is the subject of an application under the Act for approval of a plan of subdivision or a consent? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown If yes, the status of the application: _____			
21	Applications submitted without the noted requirements will be considered incomplete and will be returned. <u>Minimum Standards for Drawings:</u> Ontario Regulations 200/96 of the Planning Act provides the requirement of a sketch showing the following: its:		Included	Not Applicable
	a) The boundaries and dimensions of the subject land.		<input type="checkbox"/>	<input type="checkbox"/>
	b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and side yard lot lines.		<input type="checkbox"/>	<input type="checkbox"/>
	c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream bands, wetlands, wooded areas, wells and septic tank.		<input type="checkbox"/>	<input type="checkbox"/>
	d) The current uses on land that is adjacent to the subject land.		<input type="checkbox"/>	<input type="checkbox"/>
	e) The location, width and name of any roads withing or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.		<input type="checkbox"/>	<input type="checkbox"/>
	f) If access to the subject land is by water only, the location of the parking and docking facilities to be used.		<input type="checkbox"/>	<input type="checkbox"/>
	g) The location and nature of any easement affecting the subject land.			
	The required sketch map has been included with this application form. <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			

**Note: Drawings must be in metric units.
Examples of acceptable drawings can be obtained upon request.**

PROPOSED COMMERCIAL BUILDING RENOVATIONS

FOR 2231068 ONTARIO CORP.

Location: 5650 TECUMSEH RD E.
WINDSOR, ONTARIO



SITE DATA MATRIX		SITE ZONING : CD2.1	
ZONING BYLAW PREVISIONS	REQUIRED	EXISTING	PROPOSED
a. LOT AREA		2,677m²	EXISTING TO REMAIN
b. BUILDING AREA		516.12m²	EXISTING TO REMAIN
c. BUILDING HEIGHT	MAX 14.0m	±10.15m	EXISTING TO REMAIN
d. NO. OF PARKING SPACES			
(INCLUDES ACCESSIBLE PARKING SPACE)			
	516.12m²/22.5m²	= 22 SPACES	= 18 SPACES = 18 SPACES

FIRM NAME: ARCHITECTURAL DESIGN ASSOCIATES INC. ARCHITECT CERTIFICATE OF PRACTICE NUMBER : 3339 1670 MERCER STREET, WINDSOR, ONTARIO, N8X3P7 PHONE: 519-254-3430, FAX: 519-254-3642 NAME OF PROJECT: PROPOSED BUILDING RENOVATION LOCATION: 5650 TECUMSEH RD EAST, WINDSOR ONTARIO		
ITEM	ONTARIO 2012 BUILDING CODE DATA MATRIX PART 11 - RENOVATION OF EXISTING BUILDING	OBC Reference
11.1	EXISTING BUILDING CLASSIFICATION: DESCRIBE EXISTING USE: FIREHALL- GROUP F3 CONSTRUCTION INDEX: C1=5 HAZARD INDEX: EXIST H1=2 (SMALL) PROPOSED H1=4 (SMALL) <input type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)	11.2.1 T 11.2.1.1A T 11.2.1.1B TO N
11.2	ALTERATION TO EXISTING BUILDING IS: BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>	11.3.3.1 11.3.3.2
11.3	REDUCTION IN PERFORMANCE LEVEL: STRUCTURAL: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY INCREASE IN OCCUPANT LOAD: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES BY CHANGE OF MAJOR OCCUPANCY: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES PLUMBING: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES SEWAGE-SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4	COMPENSATING CONSTRUCTION: STRUCTURAL: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) FLOOR SYSTEMS ARE ADEQUATE PER 11.4.2.1(c) BY INCREASE IN OCCUPANT LOAD: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (EXPLAIN) EARLY WARNING (3) (a) ACCESS TO EXIT OK. (b) EXIT WIDTH OK. (c) EXIT SIGNS OK. ADDED AT NEW DOOR (d) EXISTING LIGHTS OK. (e) FIRE ALARM N/A (f) SMOKE ALARMS N/A (g) TRAVEL DISTANCE OK. REFER TO FLOOR PLAN (h) SMOKE CONTROL MEASURES N/A (i) DOOR RELEASE HARDWARE PANIC HARDWARE PROVIDED BY CHANGE OF MAJOR OCCUPANCY: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (EXPLAIN) C.I. COMPLIES WITH REQUIRED C.I. OF H1 CHANGE TO 4 EXIST C.I. = 5 > REQUIRED C.I. OF 4. PLUMBING: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES (EXPLAIN) ADDED BARRIER FREE WASHROOM SEWAGE-SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5	COMPLIANCE: <input checked="" type="checkbox"/> NO ALTERNATIVES PROPOSED: <input type="checkbox"/> YES (GIVE NUMBER(S))	11.5.1
11.6	ALTERNATIVE MEASURES PROPOSED: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBER(S))	11.5.2
1	BASE BUILDING CLASSIFICATION: GROUP E - F3 BUILDING AREA (m²) 516.12 PERMITTED CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH SPRINKLERED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO SUITE SEPARATION NORTH EXTERIOR WALL SOUTH EXTERIOR WALL EAST EXTERIOR WALL WEST EXTERIOR WALL	
2	SUITE TYPE: <input type="checkbox"/> NEW <input checked="" type="checkbox"/> PART 11 <input checked="" type="checkbox"/> ALTERATION 11.1 to 11.4 <input checked="" type="checkbox"/> CHANGE OF USE	
3	SUITE OCCUPANCY: GROUP E-RETAIL	3.1.2.1.(1)
4	SUITE AREA (m²): 516.12	1.4.1.2[A]
5	NUMBER OF STOREYS: ABOVE GRADE 1 BELOW GRADE 0	1.4.1.2[A]&3.2.1.1
6	MEZZANINES: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO AREA:	3.2.1.1.(3)-(8)
7	SPRINKLER SYSTEM: <input type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> NOT REQUIRED	
8	FIRE ALARM REQUIRED: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4
9	STANDPIPE REQUIRED: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
10	CONSTRUCTION RESTRICTIONS: <input type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input checked="" type="checkbox"/> BOTH ACTUAL CONSTRUCTION: <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.20. - 83
11	BARRIER FREE DESIGN: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8
12	OCCUPANT LOAD BASED ON: <input type="checkbox"/> m² PER PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING MAIN AREA OCCUPANCY GROUP E LOAD 60 PERSONS TOTAL OCCUPANT LOAD = 60 PERSONS	3.1.17.
13	EGRESS DOORWAYS: REQUIRED: 2 PROVIDED: 3	3.3.1.5.
14	CAPACITY OF ACCESS TO EXIT: REQUIRED: 366mm PROVIDED: 2730mm	3.3.1.16.
15	TRAVEL DISTANCE: REQUIRED: 30m PROVIDED: 15.54m	3.3.1.6.
16	PLUMBING FACILITIES: PER 3.7.4.8 - PLUMBING FIXTURES FOR MERCANTILE OCCUPANT LOAD - PUBLIC MEN 30 WOMEN 30 REQUIRED FACILITIES MEN 1 WOMEN 1 PROVIDED FACILITIES ONE UNIVERSAL & 1 UNISEX WASHROOM	3.7

ARCHITECT

CONTACT - STEPHEN BERRILL

A architectural
D design
A associates inc. architect

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windsor ontario canada n8x 3p7
ph 519.254.3430 fax 519.254.3642
email - info@ada-architect.ca www.ada-architect.ca

STRUCTURAL / CIVIL ENGINEER

2024/10/30	1 SITE CLARIFICATION
2024/10/23	MINOR VARIANCE
2024/10/22	BUILDING PERMIT
date	Issued for:

LIST OF DRAWINGS

ARCHITECTURAL

A1.1 EXISTING/DEMOLITION FLOOR PLAN, PROPOSED FLOOR PLAN, UNIVERSAL WASHROOM, WALL TYPES

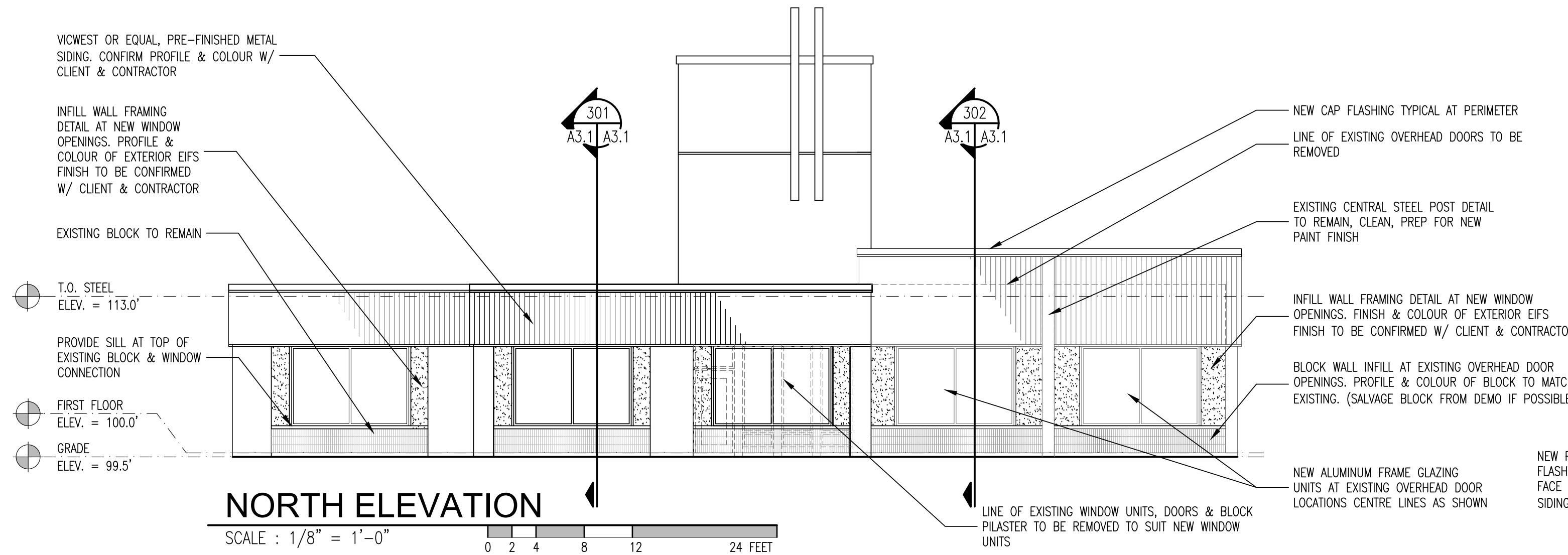
A3.1 EXTERIOR ELEVATIONS, WALL SECTIONS

STRUCTURAL

S1 STRUCTURAL BEAM PLAN & SECTIONS

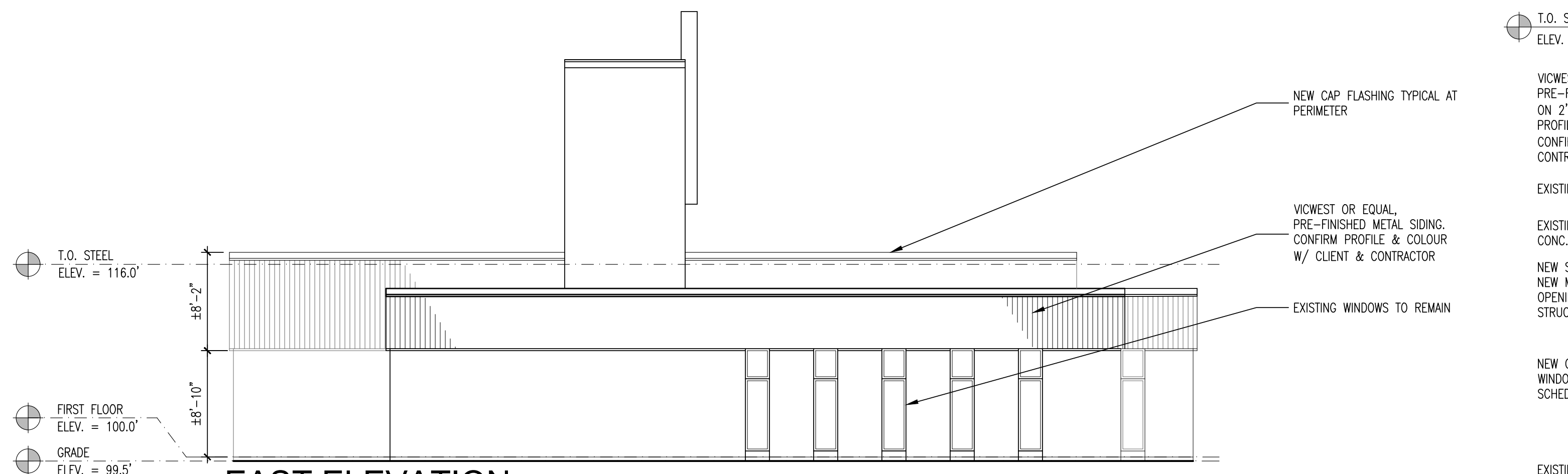
S2 STRUCTURAL BEAM PLAN

S3 SECTIONS



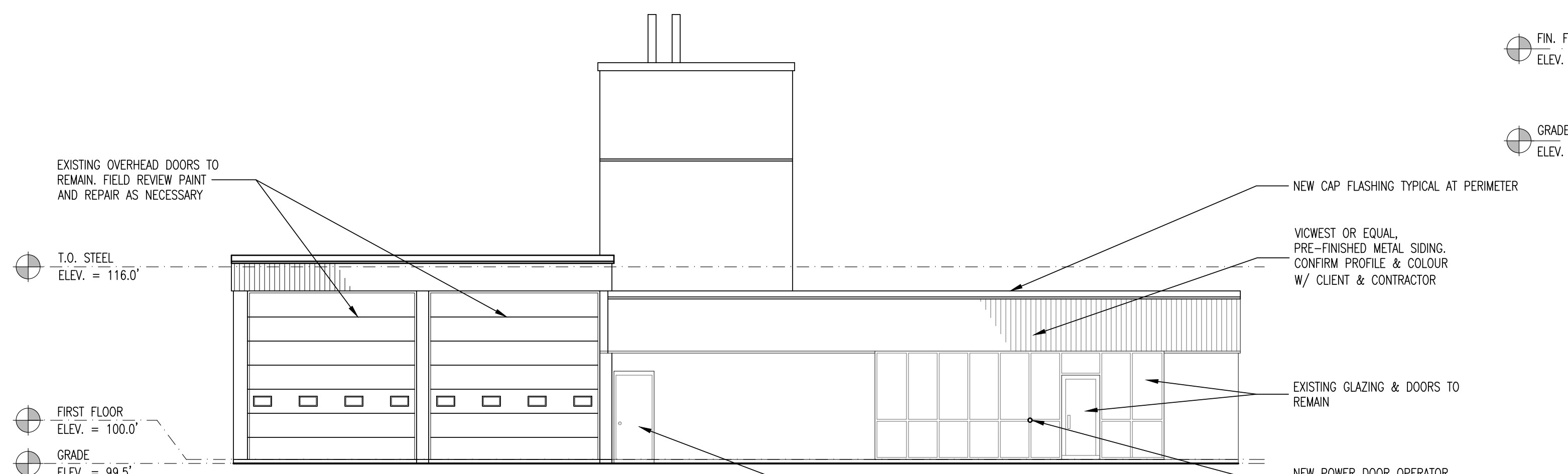
NORTH ELEVATION

SCALE : 1/8" = 1'-0"



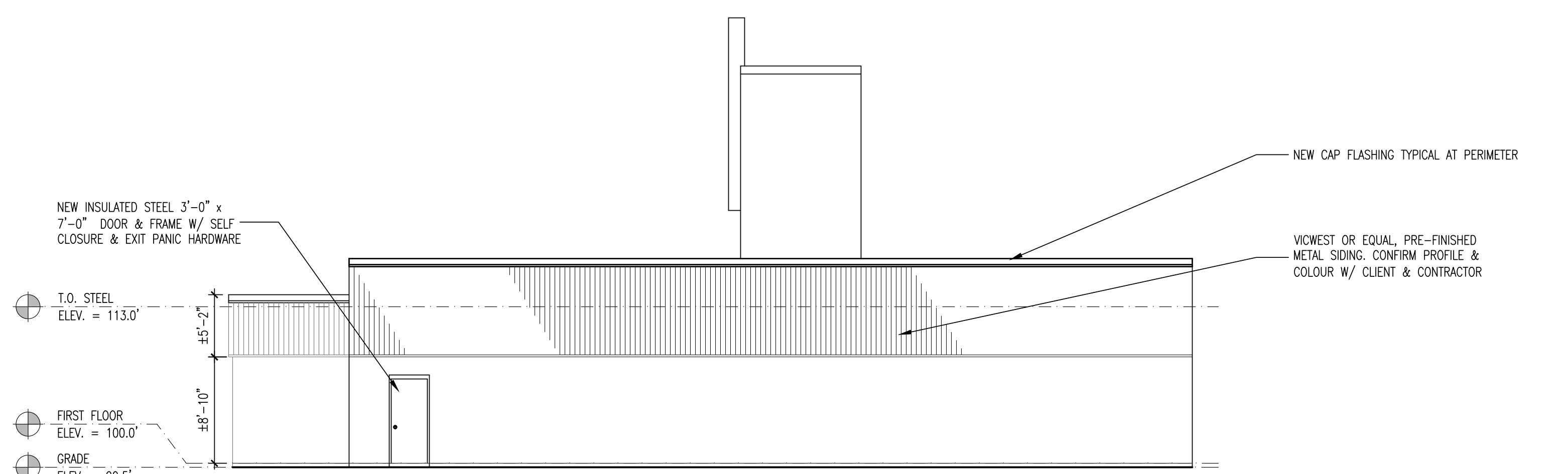
EAST ELEVATION

SCALE : 1/8" = 1'-0"



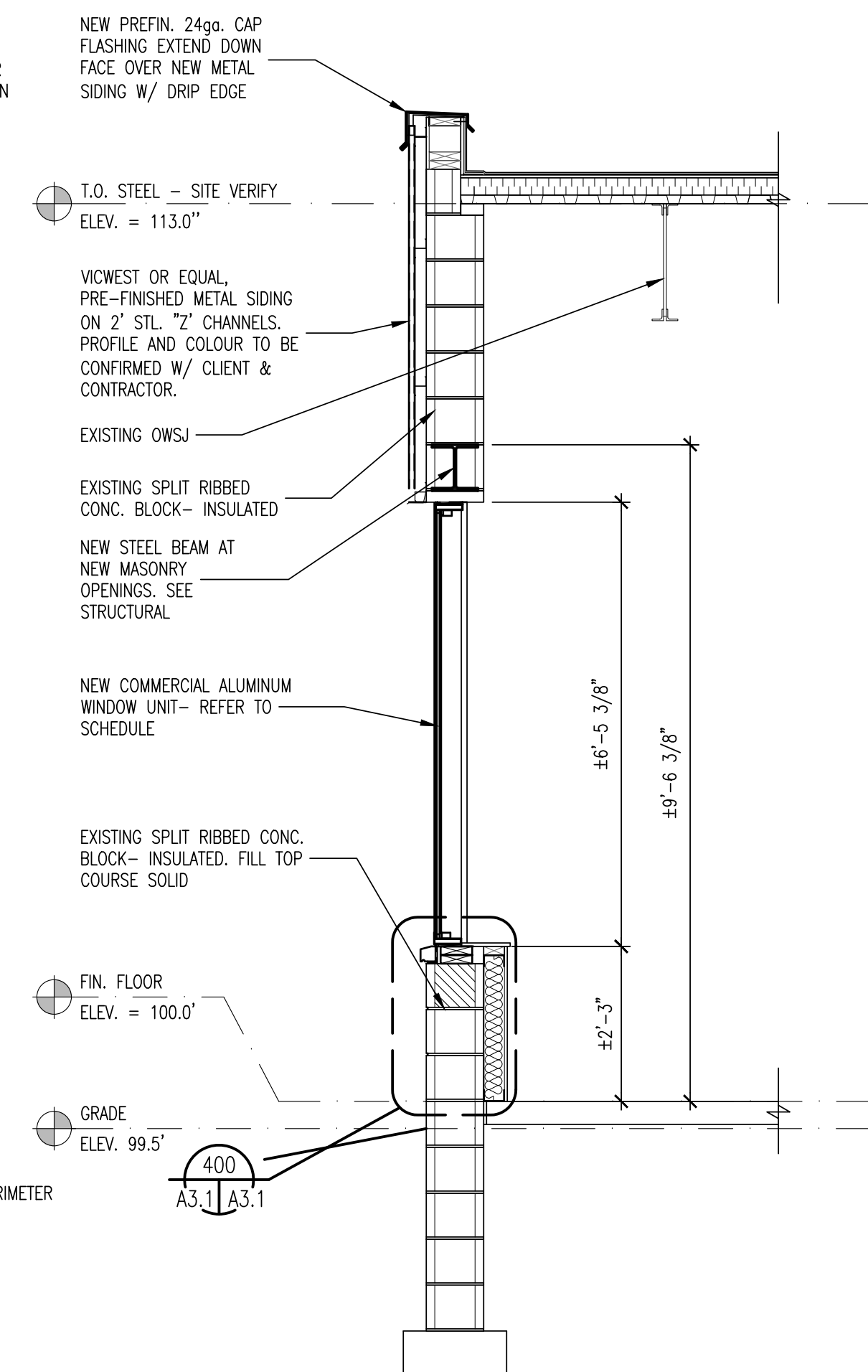
SOUTH ELEVATION

SCALE : 1/8" = 1'-0"



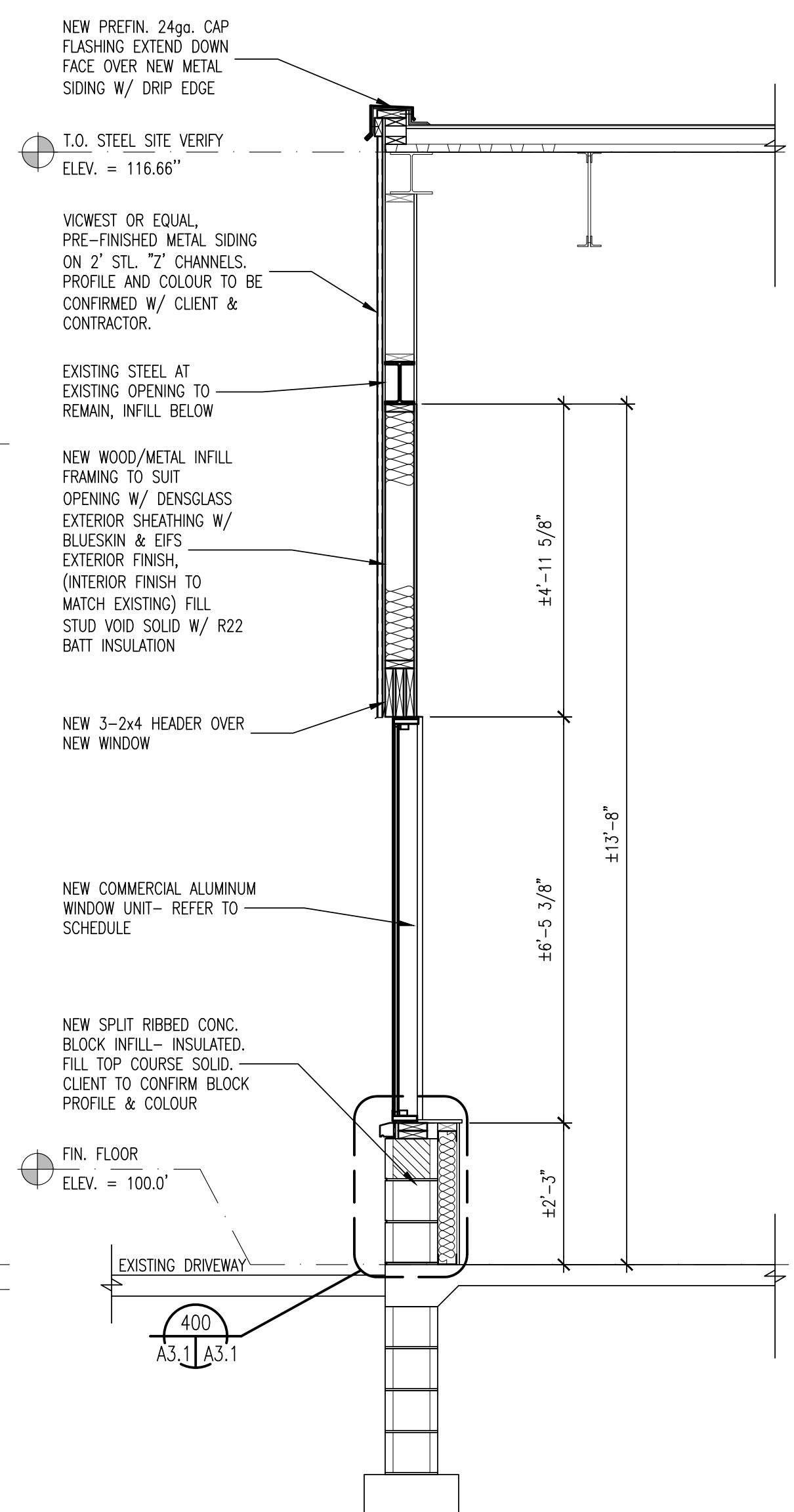
WEST ELEVATION

SCALE : 1/8" = 1'-0"



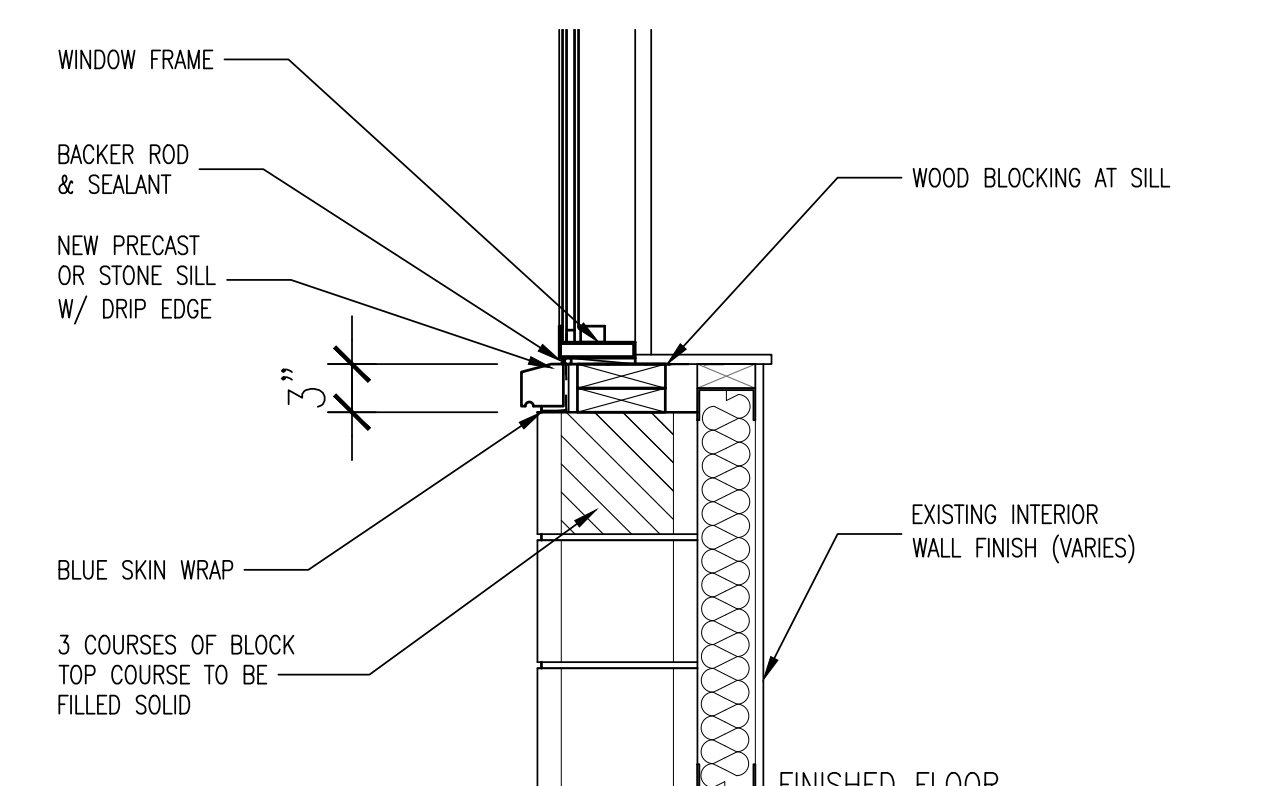
301 SECTION

SCALE : 1/2" = 1'-0"



302 SECTION

SCALE : 1/2" = 1'-0"



400 SILL DETAIL

SCALE : 1" = 1'-0"

2024/10/30 **SITE CLARIFICATION**

2024/10/23 **MINOR VARIANCE**

2024/10/21 **BUILDING PERMIT**

date (yyy/mm/dd): issued for:

- general notes:
- THIS PRINT IS AN INSTRUMENT OF SERVICE ONLY AND IS THE PROPERTY OF THE ARCHITECT.
 - DRAWINGS SHALL NOT BE SCALED.
 - CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.
 - ATTENTION IS DIRECTED TO PROVISIONS IN THE GENERAL CONDITIONS REGARDING CONTRACTOR'S RESPONSIBILITIES IN REGARD TO SUBMISSION OF SHOP DRAWINGS.
 - IN THE EVENT THE ARCHITECT IS RETAINED TO REVIEW SHOP DRAWINGS, SUCH REVIEW IS ONLY TO CHECK FOR CONFORMANCE WITH DESIGN CONCEPT AND WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS.
 - CONTRACTORS SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF THE EXISTENCE OF ANY OBSERVED VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND ANY APPLICABLE CODES OR BY-LAWS.
 - THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS OR TECHNIQUES IN THE CONSTRUCTION OF THIS FACILITY.

stamp:

A architectural
D design
A associates inc. architect

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email - info@ada-architect.ca www.ada-architect.ca

project:
**PROPOSED RENOVATIONS
5650 TECUMSEH RD. EAST
WINDSOR, ONTARIO**

client:
**2231068 ONTARIO CORP.
6415 TECUMSEH RD EAST
WINDSOR, ONTARIO**

title:
**EXTERIOR ELEVATIONS
WALL SECTIONS
DETAILS**

scale: **AS SHOWN**

drawn by: **CS**

checked by: **JBK**

date: **OCTOBER 2024**

comm. no.: **2024-138**

sheet no.:

A3.1