

Notice of Public Hearing – Committee of Adjustment Application

File # A-066/25 Date Mailed: August 20, 2025

Electronic hearing:

By videoconference on September 4, 2025 at 3:30 PM

Why am I receiving this notice?

As an adjacent property owner you are receiving this courtesy notice of hearing because an application has been submitted for consent and/or minor variance to a property located close to you. Formal notice of the hearing was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on August 20, 2025. as required by the Planning Act.

Sections 45(1) & 54(5) of the Planning Act authorize the Committee of Adjustment to consider these requests.

Application details are posted on the City of Windsor website along with the Administrative recommendation(s). For the latest Administrative comments check the City’s website page for **Committee of Adjustment-Meeting Agenda** after 12:00 noon on the Friday prior to the hearing date.

APPLICANT AND PROPERTY INFORMATION

**LEGAL DESCRIPTION:** PLAN 948; LOT 44, LOT 45 & PT CLOSED ALLEY; PLAN 1275; PT LOT 23 & PT CLOSED LANE; RP 12R25907; PART 14 & PART 15

OFFICIAL PLAN DESIGNATION	ZONING OF SUBJECT LAND(S)
Residential	Residential RD2.2

Applicant/Owner(s)	Authorized Agent(s)	Subject Property
<b>Owner Name:</b> SHAHAD HOLDING LTD.  <b>Applicant Name:</b> MOHAMED A TABIB Carthage Developments Inc		1885-1887 NORTHWAY AVE  1891-1893 NORTHWAY AVE

PURPOSE OF APPLICATION

**Minor Variance** - Semi-detached dwellings with increased maximum main building Gross Floor Area (GFA) and increased maximum front yard paving coverage requirements for semi-detached dwellings. -

By-Law	Provision	Provision Description	Requirement	Proposed
8600	11.2.5.2.10	Maximum Main Building Gross Floor Area	400.0m2	495.0 m <sup>2</sup>
8600	24.28.1.3.1	Maximum Front Yard Paving	50%	63%

## How do I participate if I have comments or concerns?

### Submit written comments

Although neighbours cannot appeal a decision, you are entitled to notice and may make written submissions before the application is considered by the Committee of Adjustment. You can send your written comments regarding the application by email (preferred) or regular mail to the Secretary-Treasurer noted below. Include your name, address and application number or address of the property in which you are providing comments. To allow all Committee members the opportunity to review and consider your comments, please provide your written submissions to be received no later than noon the day before the hearing.

### Participate in the hearing by videoconference (Microsoft Teams)

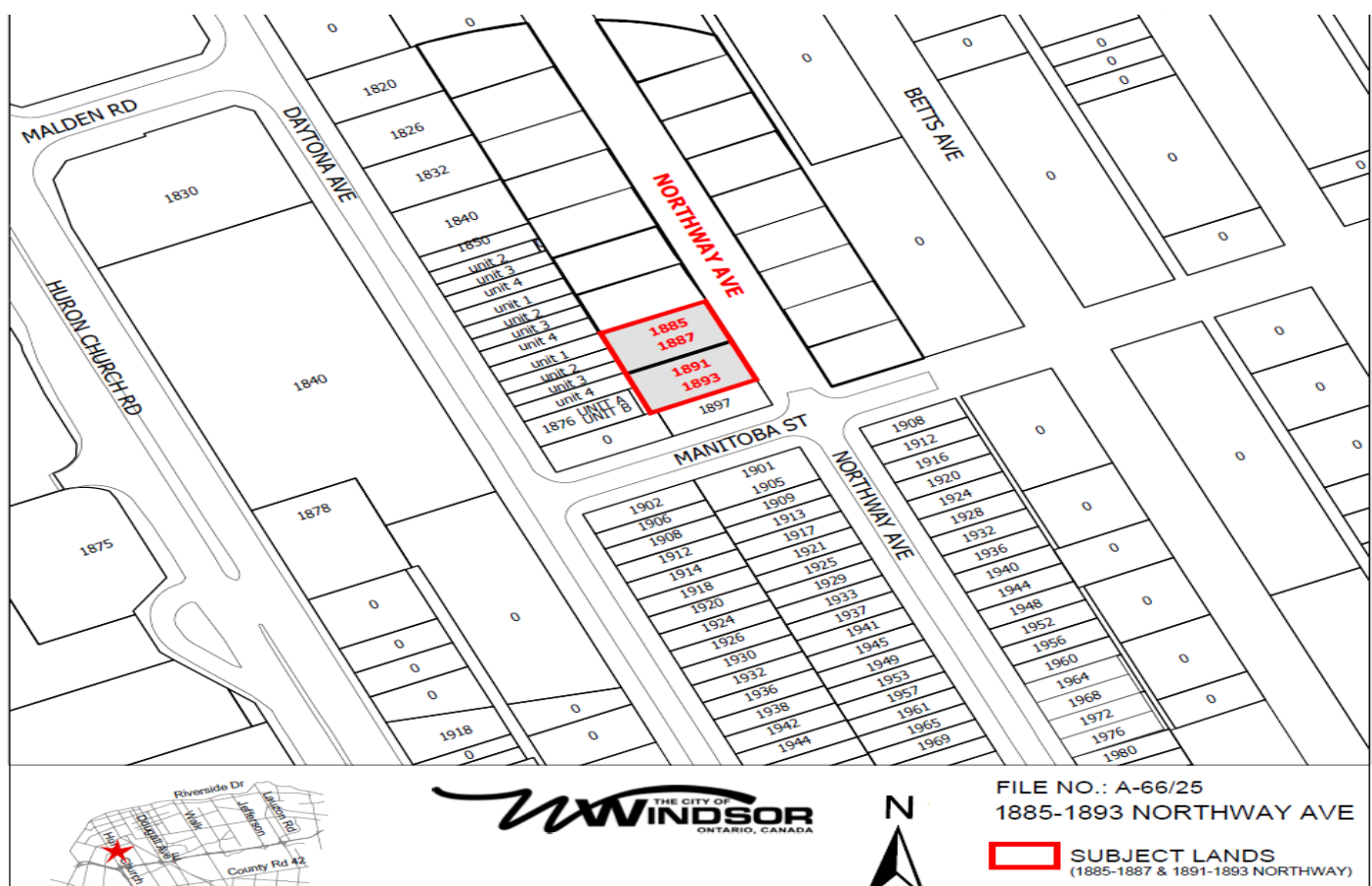
**Two ways to register:** 1) visit the City of Windsor website to self-register OR 2) call or email the Secretary-Treasurer noted below no later than noon the day before the hearing date. You are encouraged to pre-register as a delegation as soon as possible in order to facilitate an orderly registration process. Once registered you will receive confirmation by email including a link to join the virtual hearing.

**Applicant(s)** – Attendance is required. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you or reschedule the meeting at a cost to you.

### Notice of Decision

If you wish to be notified of the decision for this application, you must make a written request by email or regular mail to the Secretary-Treasurer ([jwatson@citywindsor.ca](mailto:jwatson@citywindsor.ca)). The written request must be received before noon the day before the hearing date. This will entitle you to be notified of any future Ontario Land Tribunal proceedings in the event of an appeal.

### Key Map Insert



### Contact Information:

Jessica Watson  
Secretary-Treasurer  
Committee of Adjustment  
Suite 320, 350 City Hall Square West  
Windsor, ON N9A6S1  
Phone: 519-255-6543 ext. 6450 or 6436  
[COAadjustment@citywindsor.ca](mailto:COAadjustment@citywindsor.ca)

1891-1893 NORTHWAY

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE

STACIE AMO TEASDALE  
NAME

SIGNATURE

32999  
BCIN

REGISTRATION INFORMATION  
REQUIRED UNLESS DESIGNED IS EXEMPT UNDER 2.17.4.1 OF THE BUILDING CODE

CQ DESIGN GROUP  
FIRM NAME

103384  
BCIN

GENERAL NOTES

\_THESE GENERAL NOTES REFER TO ALL ARCHITECTURAL DRAWINGS

\_THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE SOLE PROPERTY OF CQ DESIGN GROUP

\_BUILDING CLASSIFICATION UNDER THE BUILDING CODE IS PART 9

\_ALL WORK SHALL COMPLY OR EXCEED THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, FIRE CODE, PLUMBING CODE, ELECTRICAL CODE AND/OR LOCAL BY-LAWS

\_THESE DRAWINGS ARE FOR MIN. BUILDING PERMIT ONLY AND DO NOT GIVE ALL DETAILS FOR COMPLETE BUILDING PROCESS G.C. IS RESPONSIBLE FOR ALL OTHER DETAILS, INFORMATION, ENG. STAMPS FOR CONC. REINFORCING PORCHES OR POINT LOADING DIAGRAMs, LINTEL DESIGNS, BEAM REINFORCEMENT NEEDED FOR BUILDING PERMIT PROCESS IF REQUESTED BY LOCAL MUNICIPAL AUTHORITIES.

\_DO NOT SCALE DRAWINGS

\_ALL DIMENSIONS ON PLANS ARE SHOWN IN NOMINAL DIMENSIONS FOR EASE OF CONSTRUCTION AND ADDING OF FRACTIONS

\_SITE CHECK ALL DIMENSIONS AND EXISTING CONDITIONS AS REQUIRED, PRIOR TO BIDDING AND COMMENCEMENT OF WORK

\_G.C. OR OWNER IS TO COORDINATE ALL APPLICABLE ARCHITECTURAL AND MECHANICAL DRAWINGS OR SUB-TRADES DRAWINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION - THIS DESIGNER IS NOT RESPONSIBLE FOR MECHANICAL DUCT INTERFERENCES OR DUCT LAYOUTS, ELECTRICAL LAYOUTS OR ELECTRICAL REQUIREMENTS

\_SHOULD ANY CONFLICTS ARISE, NOTIFY THE DESIGNER IMMEDIATELY, IN WRITING, PRIOR TO PROCEEDING WITH ANY WORK

\_ENGINEERING (AS NOTED OR IF REQUIRED) BY OTHERS

\_ELECTRICAL, MECHANICAL AND HVAC AND PLUMBING BY OTHERS (AS PER O.B.C.)

\_THE DESIGNER IS NOT RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS AND OR TECHNIQUES USED IN CONSTRUCTION

\_THE CONTRACT BETWEEN THE CONTRACTOR AND PURCHASER SUPERSEDES THE DRAWINGS

\_G.C. IS RESPONSIBLE TO KEEP ALL DESIGN COMPONENTS AND LAYOUT THE SAME AS PER THESE DRAWINGS. FAILURE TO DO SO VOIDS THESE DRAWINGS AND FIELD MEASUREMENTS AND MUST BE DONE TO SIT ON SITE CONDITIONS. THIS CONTRACTOR MUST PAY FOR THESE REVISIONS

\_THIS CONSULTANT WAS HIRED VERBALLY AND WAS FURNISHED MARKUP SKETCHES BY E-MAIL - NO REAL ESTATE OR SALES INFO OF HOME WAS PROVIDED TO THIS DESIGNER NOTE: IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK ALL OWNERS DETAILS AND PRICE OPTIONS BEFORE PERMIT IS SUBMITTED

\_DESIGNER IS NOT HIRED NOR RESPONSIBLE FOR CONSTRUCTION REVIEW DURING CONSTRUCTION - IF ANY INTERIOR OR EXTERIOR CHANGES OR MODIFICATIONS MADE BY G.C. DURING CONSTRUCTION WITHOUT NOTIFYING THE DESIGNER THEN THE DESIGNER TAKES NO RESPONSIBILITY FOR CHANGES AND OR ERRORS MADE DURING CONSTRUCTION

\_THE OWNER IS RESPONSIBLE FOR HIRING A QUALIFIED GENERAL CONTRACTOR AND SUB-TRADES WITH A MINIMUM 10 YEARS OF HOME BUILDING EXPERIENCE

\_IF OWNER BECOMES G.C. HE/SHE ALONE TAKES THE RESPONSIBILITY OF THE COORDINATION OF ALL SUB-TRADES ON SITE AND ANY CONFLICTS DUE TO LACK OF CONSTRUCTION EXPERIENCE IS NOT THIS DESIGNERS RESPONSIBILITY

\_THE OWNER IS RESPONSIBLE FOR HIRING A QUALIFIED WOOD FRAMER WITH MINIMUM 10 YEARS OF HOME BUILDING EXPERIENCE WITH ROOF TRUSS FRAMING EXPERIENCE ALONG WITH JOINING CONVENTIONAL RAFTERS TO TRUSS FRAMING EXPERIENCE

\_G.C. TO CONFIRM "ERCA" REQUIREMENTS AND SITE CONDITIONS PRIOR TO CONSTRUCTION

\_THIS DESIGNER IS NOT RESPONSIBLE FOR LOCATING THE STRUCTURE ON THE SITE. AN ONTARIO LAND SURVEYOR IS RECOMMENDED TO LOCATE THE STRUCTURE, SET THE GRADE, AND TO PRODUCE LOT GRADING PLANS

\_A MIN. 2% GRADING TO BE MAINTAINED AROUND THE STRUCTURE

THIS DESIGNER IS NOT RESPONSIBLE FOR ERCA, EASEMENTS, SITE PLAN CONTROL, APPROVALS AND DEVELOPMENTAL SITE CONDITIONS, AND LOT RESTRICTIONS.

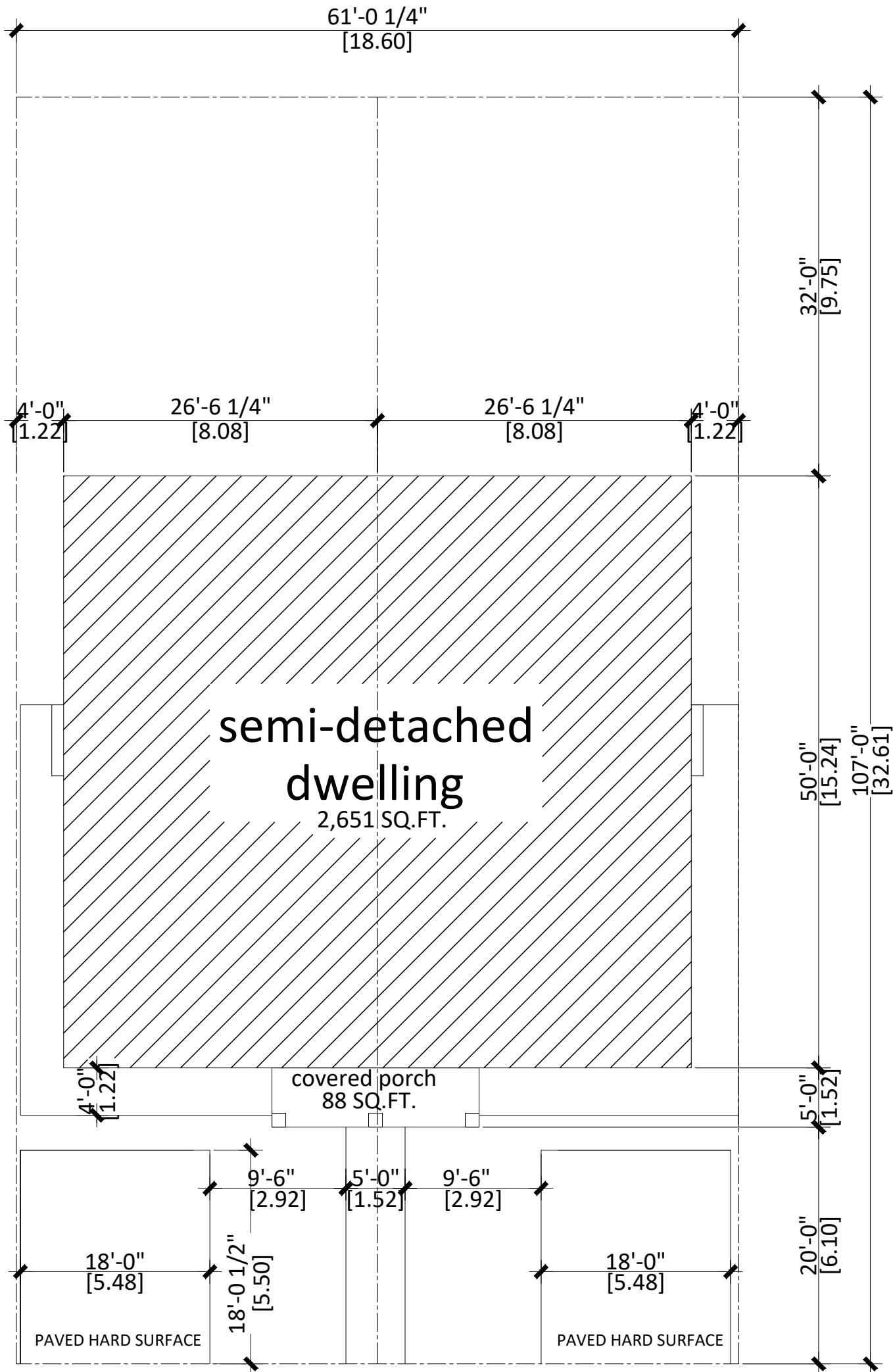
\_ALL WORK AND STORAGE AREAS ON SITE SHALL BE ESTABLISHED BY THE OWNER PRIOR TO COMMENCEMENT OF WORK. ALL ESTABLISHED BOUNDARIES SHALL BE STRICTLY OBSERVED.

\_ALL NEW SITE DRAINAGE WORK TO BE IN ACCORDANCE WITH LOCAL BY-LAWS. RE-GRADE WHERE REQUIRED AND EXTEND TO ORIGINAL GRADE LEVELS. PROVIDE NEW SODDING AND APPROPRIATE TOPSOIL AS REQUIRED.

\_THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED TO EXISTING SODDING, ASPHALT, CURBS, WALKWAYS, FENCES, ALL BUILDING SERVICES, TREES AND SHRUBS. THE GENERAL CONTRACTOR SHALL REPLACE OR REPAIR DAMAGED AREAS TO MATCH ADJOINING AND EXISTING SURFACES.

\_G.C. MUST HIRE ONT. LAND SURVEYOR TO PLACE HOME ON SITE AND SET ELEVATIONS FOR EXCAVATIONS.

\_THIS CONSULTANT IS UNAWARE OF ANY SOIL BEARING CAPACITY PROBLEMS. THIS CONSULTANT HAS ADVISED OWNER TO INVOLVE A GEOTECHNICAL CONSULTANT THROUGHOUT CONSTRUCTION TO ADVISE CONSULTANT OF ALL SUBSURFACE CAPACITIES. IF ANY SOIL PROBLEMS EXIST. THE OWNER MUST HIRE A ENG. TO SOLVE THESE PROBLEMS AND PAY FOR ALL FEES AND EXTRA MATERIALS DURING THIS TIME.



OWNER/G.C. TO APPLY FOR PERMIT PRIOR TO WORK TO VERIFY ZONING AND CONFORMANCE

01	24MAY25	ISSUED FOR PERMIT
no.	date	revision

client	
project	1891 & 1893 NORTHWAY SEMI-DETACHED WITH ADU
drawing	SITE PLAN

scale	3/32"=1'-0"
drawn by	ST
checked by	
date	AUGUST 2025
drawing no.	

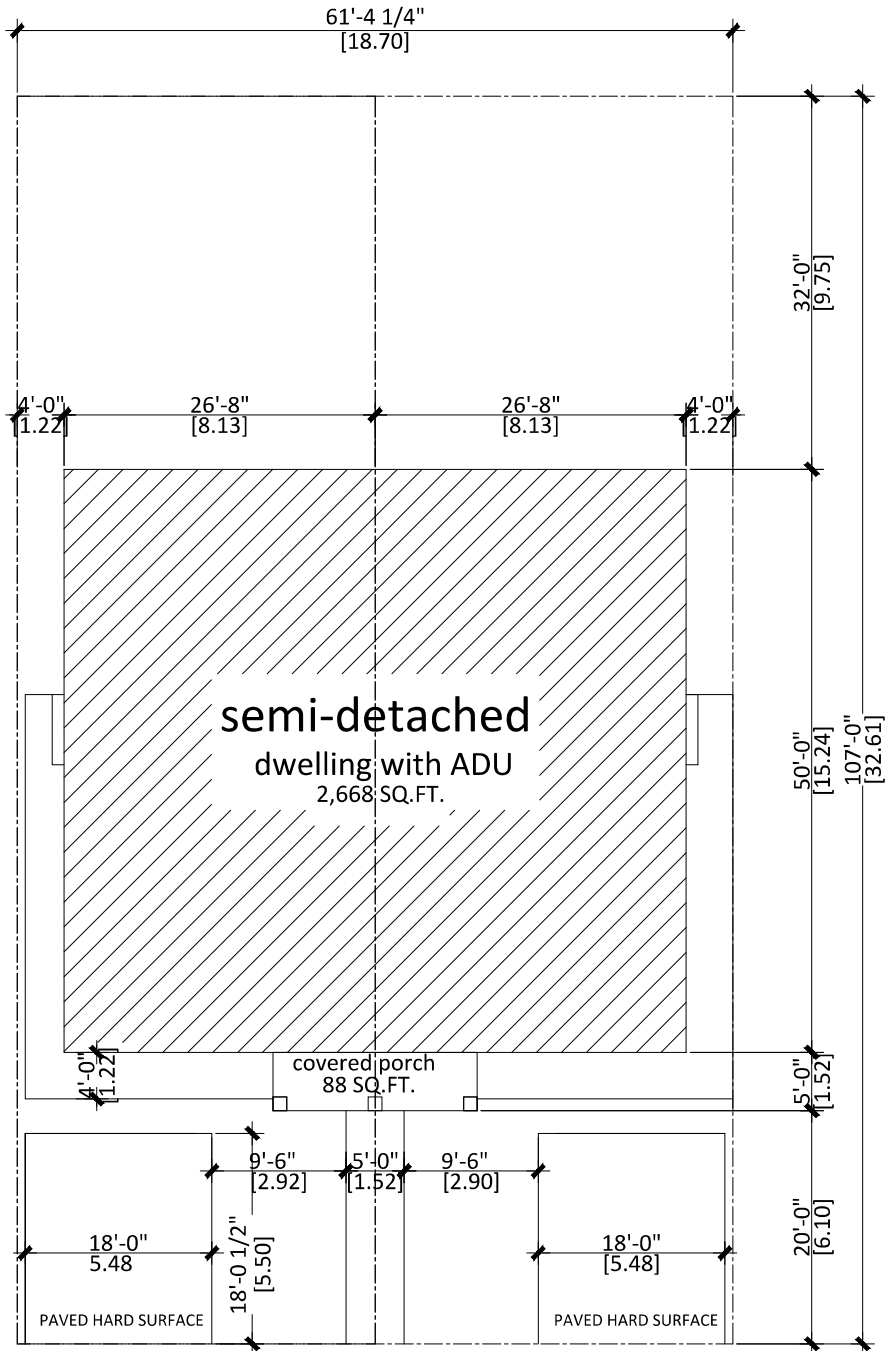
notes
_do not scale drawings _all dimensions are to be checked and verified on the job site _any and all discrepancies are to be reported to the designer before construction
north

# 1885-1887 NORTHWAY

THE UNDERSIGNED HAS RECEIVED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.		
QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE		
STAGE AND TEASDALE	SIGNATURE	32999
REGISTRATION INFORMATION REQUIRED UNLESS DESIGNER IS EXEMPT UNDER 2.17.6.1 OF THE BUILDING CODE		
CD DESIGN GROUP	103384	ICR

## GENERAL NOTES

- THESE GENERAL NOTES REFER TO ALL ARCHITECTURAL DRAWINGS
- THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND ARE THE SOLE PROPERTY OF CD DESIGN GROUP
- BUILDING CLASSIFICATION UNDER THE BUILDING CODE IS PART 9
- ALL WORK SHALL COMPLY OR EXCEED THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, FIRE CODE, PLUMBING CODE, ELECTRICAL CODE AND/OR LOCAL BY-LAWS
- THESE DRAWINGS ARE FOR MIN. BUILDING PERMIT ONLY AND DO NOT GIVE ALL DETAILS FOR COMPLETE BUILDING PROCESS G.C. IS RESPONSIBLE FOR ALL OTHER DETAILS, INFORMATION, ENG. STAMPS FOR CONC. REINFORCING PORCHES OR POINT LOADING DIAGRAMS, LINTEL DESIGNS, BEAM REINFORCEMENT NEEDED FOR BUILDING PERMIT PROCESS IF REQUESTED BY LOCAL MUNICIPAL AUTHORITIES.
- DO NOT SCALE DRAWINGS
- ALL DIMENSIONS ON PLANS ARE SHOWN IN NOMINAL DIMENSIONS FOR EASE OF CONSTRUCTION AND ADDING OF FRACTIONS
- SITE CHECK ALL DIMENSIONS AND EXISTING CONDITIONS AS REQUIRED, PRIOR TO BIDDING AND COMMENCEMENT OF WORK
- G.C. OR OWNER IS TO COORDINATE ALL APPLICABLE ARCHITECTURAL AND MECHANICAL DRAWINGS OR SUB TRADES DRAWINGS PRIOR TO COMMENCEMENT OF CONSTRUCTION - THIS DESIGNER IS NOT RESPONSIBLE FOR MECHANICAL DUCT INTERFERENCES OR DUCT LAYOUTS, ELECTRICAL LAYOUTS OR ELECTRICAL REQUIREMENTS
- SHOULD ANY CONFLICTS ARISE, NOTIFY THE DESIGNER IMMEDIATELY, IN WRITING, PRIOR TO PROCEEDING WITH ANY WORK
- ENGINEERING (AS NOTED OR IF REQUIRED) BY OTHERS
- ELECTRICAL, MECHANICAL AND HVAC AND PLUMBING BY OTHERS (AS PER O.B.C.)
- THE DESIGNER IS NOT RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS AND OR TECHNIQUES USED IN CONSTRUCTION
- THE CONTRACT BETWEEN THE CONTRACTOR AND PURCHASER SUPERSEDES THE DRAWINGS
- G.C. IS RESPONSIBLE TO KEEP ALL DESIGN COMPONENTS AND LAYOUT THE SAME AS PER THESE DRAWINGS. FAILURE TO DO SO VOIDS THESE DRAWINGS AND FIELD MEASUREMENTS AND MUST BE DONE TO SITE ON SITE CONDITIONS. THIS CONTRACTOR MUST PAY FOR THESE REVISIONS
- THIS CONSULTANT WAS HIRED VERBALLY AND WAS FURNISHED MARKUP SKETCHES BY E-MAIL - NO REAL ESTATE OR SALES INFO OF HOME WAS PROVIDED TO THIS DESIGNER NOTE IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK ALL OWNERS DETAILS AND PRICE OPTIONS BEFORE PERMIT IS SUBMITTED
- DESIGNER IS NOT HIRED NOR RESPONSIBLE FOR CONSTRUCTION REVIEW DURING CONSTRUCTION - IF ANY INTERIOR OR EXTERIOR CHANGES OR MODIFICATIONS MADE BY G.C. DURING CONSTRUCTION WITHOUT NOTIFYING THE DESIGNER THEN THE DESIGNER TAKES NO RESPONSIBILITY FOR CHANGES AND OR ERRORS MADE DURING CONSTRUCTION
- THE OWNER IS RESPONSIBLE FOR HIRING A QUALIFIED GENERAL CONTRACTOR AND SUB-TRADES WITH A MINIMUM 10 YEARS OF HOME BUILDING EXPERIENCE
- IF OWNER BECOMES G.C. HE/SHE ALONE TAKES THE RESPONSIBILITY OF THE COORDINATION OF ALL SUB-TRADES ON SITE AND ANY CONFLICTS DUE TO LACK OF CONSTRUCTION EXPERIENCE IS NOT THIS DESIGNER'S RESPONSIBILITY
- THE OWNER IS RESPONSIBLE FOR HIRING A QUALIFIED WOOD FRAMER WITH MINIMUM 10 YEARS OF HOME BUILDING EXPERIENCE WITH ROOF TRUSS FRAMING EXPERIENCE ALONG WITH JOINING CONVENTIONAL RAFTERS TO TRUSS FRAMING EXPERIENCE
- G.C. TO CONFIRM "ERCA" REQUIREMENTS AND SITE CONDITIONS PRIOR TO CONSTRUCTION
- THIS DESIGNER IS NOT RESPONSIBLE FOR LOCATING THE STRUCTURE ON THE SITE. AN ONTARIO LAND SURVEYOR IS RECOMMENDED TO LOCATE THE STRUCTURE, SET THE GRADE, AND TO PRODUCE LOT GRADING PLANS
- A MIN. 2% GRADING TO BE MAINTAINED AROUND THE STRUCTURE
- THIS DESIGNER IS NOT RESPONSIBLE FOR ERCA, EASEMENTS, SITE PLAN CONTROL, APPROVALS AND DEVELOPMENTAL SITE CONDITIONS, AND LOT RESTRICTIONS.
- ALL WORK AND STORAGE AREAS ON SITE SHALL BE ESTABLISHED BY THE OWNER PRIOR TO COMMENCEMENT OF WORK. ALL ESTABLISHED BOUNDARIES SHALL BE STRICTLY OBSERVED.
- ALL NEW SITE DRAINAGE WORK TO BE IN ACCORDANCE WITH LOCAL BY-LAWS. RE-GRADE WHERE REQUIRED AND EXTEND TO ORIGINAL GRADE LEVELS. PROVIDE NEW SODDING AND APPROPRIATE TOPSOIL AS REQUIRED.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED TO EXISTING SODDING, ASPHALT, CURBS, WALKWAYS, FENCES, ALL BUILDING SERVICES, TREES AND SHRUBS. THE GENERAL CONTRACTOR SHALL REPLACE OR REPAIR DAMAGED AREAS TO MATCH ADJOINING AND EXISTING SURFACES.
- G.C. MUST HIRE ONT. LAND SURVEYOR TO PLACE HOME ON SITE AND SET ELEVATIONS FOR EXCAVATIONS.
- THIS CONSULTANT IS UNAWARE OF ANY SOIL BEARING CAPACITY PROBLEMS. THIS CONSULTANT HAS ADVISED OWNER TO INVOLVE A GEOTECHNICAL CONSULTANT THROUGHOUT CONSTRUCTION TO ADVISE CONSULTANT OF ALL SUBSURFACE CAPACITIES. IF ANY SOIL PROBLEMS EXIST, THE OWNER MUST HIRE A ENG. TO SOLVE THESE PROBLEMS AND PAY FOR ALL FEES AND EXTRA MATERIALS DURING THIS TIME.



OWNER/G.C. TO APPLY FOR PERMIT PRIOR TO WORK TO VERIFY ZONING AND CONFORMANCE

01	24MAY25	ISSUED FOR PERMIT
no.	date	revision

client	scale	date
project	3/32"=1'-0"	AUGUST 2022
1885 & 1887 NORTHWAY	drawn by	drawing no.
Semi-detached With ADU	ST	
drawing	checked by	A0
SITE PLAN		

cd design group 2216 hall ave. windsor | 519.817.6241 | stacie@cdesigngroup.com

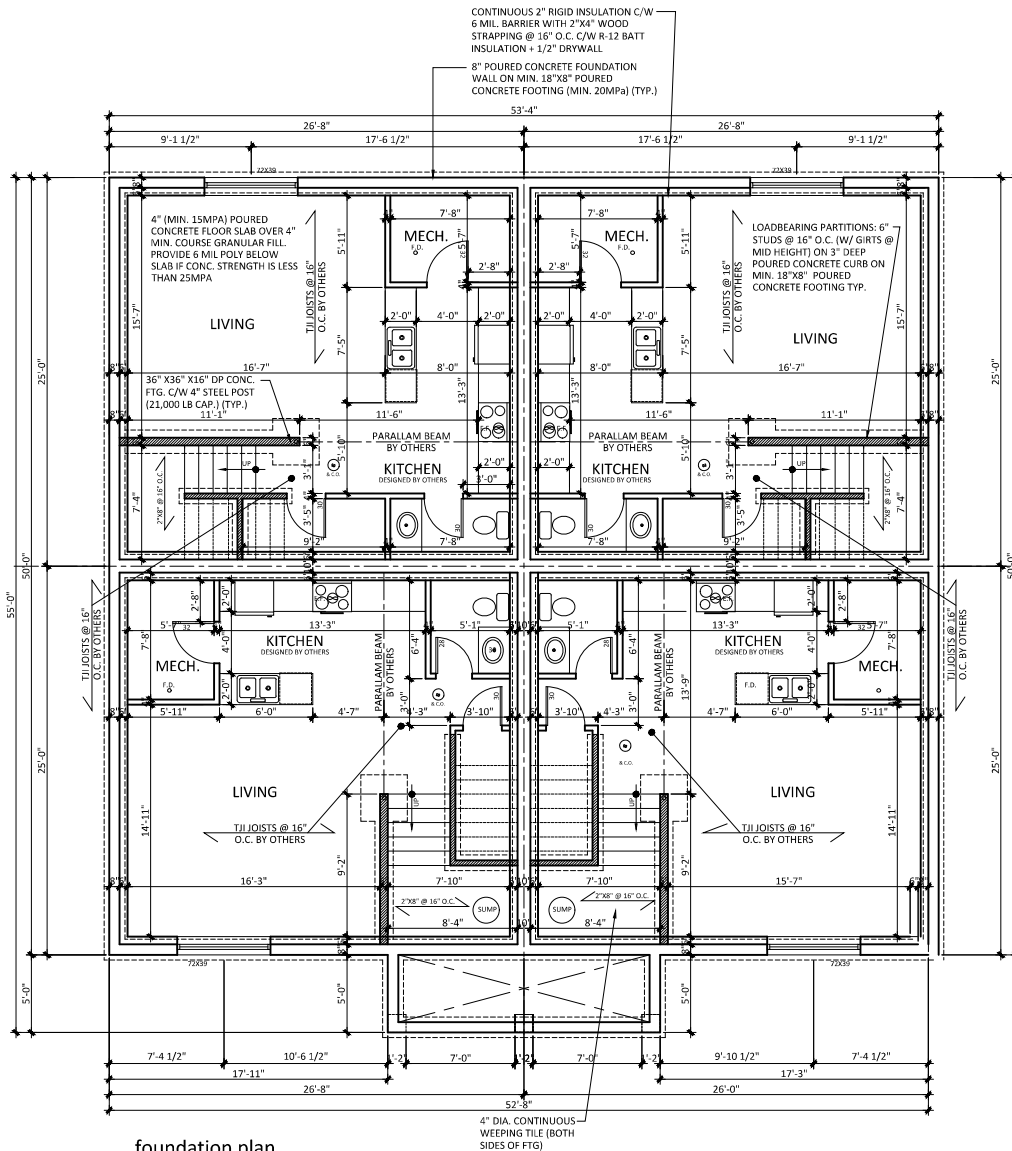
notes

do not scale drawings

all dimensions are to be checked and verified on the job site

any and all discrepancies are to be reported to the designer before construction

north



**foundation plan**  
living area: 667 sq.ft. per unit

01	24MAY25	ISSUED FOR PERMIT
no.	date	revision

client	scale	date
project	3/16"=1'-0"	AUGUST 2022
1885 & 1887 NORTHWAY	drawn by	drawing no.
Semi-detached With ADU	ST	
drawing	checked by	
FOUNDATION PLAN		

notes  
do not scale drawings  
all dimensions are to be checked and  
verified on the job site  
any and all discrepancies are to be reported  
to the designer before construction  
north

**A1**

[illegible][illegible]

STEEL LINTEL SCHEDULE (EXTERIOR)		
MAX CLEAR SPAN	EXTERIOR ANGLES	
	FOR BRICK 100 mm	FOR STONE 150 mm x 50 mm STOUT FLAGG
3'-10" OR LESS	3'-1/2" x 3'-1/2" x 1/4"	5" x 3'-1/2" x 1/2"
4'-10" OR LESS	5'-1/2" x 3'-1/2" x 5/16"	5" x 3'-1/2" x 1/2"
5'-10" OR LESS	4" x 4" x 5/16"	5" x 5" x 5/16"
6'-10" OR LESS	4" x 4" x 5/16"	5" x 5" x 5/16"
7'-10" OR LESS	5" x 3'-1/2" x 5/16"	5" x 5" x 5/16"
8'-10" OR LESS	6" x 4" x 7/16"	5" x 5" x 7/16"
9'-10" OR LESS	6" x 4" x 7/16"	5" x 5" x 7/16"

NOTES:  
 \_ SPANS BASED ON TABLE 9.20.5.2.A.  
 \_ STEEL UNTELS SHALL HAVE NOT LESS THAN 6" (150 mm) LENGTH OF BEARING  
 AT END SUPPORTS AND BEAR ON MASONRY, CONCRETE OR STEEL.

ALL STAIRS, RAMP, HANDRAILS  
AND GUARDS SHALL CONFORM  
TO O.S.C. 2.8

COVERS FOR SUMP PITS SHALL  
BE DESIGNED TO RESIST  
REMOVAL BY CHILDREN

INTERCONNECTED SMOKE  
ALARMS REQUIRED ON ALL  
FLOOR LEVELS - CARBON  
MONOXIDE DETECTORS

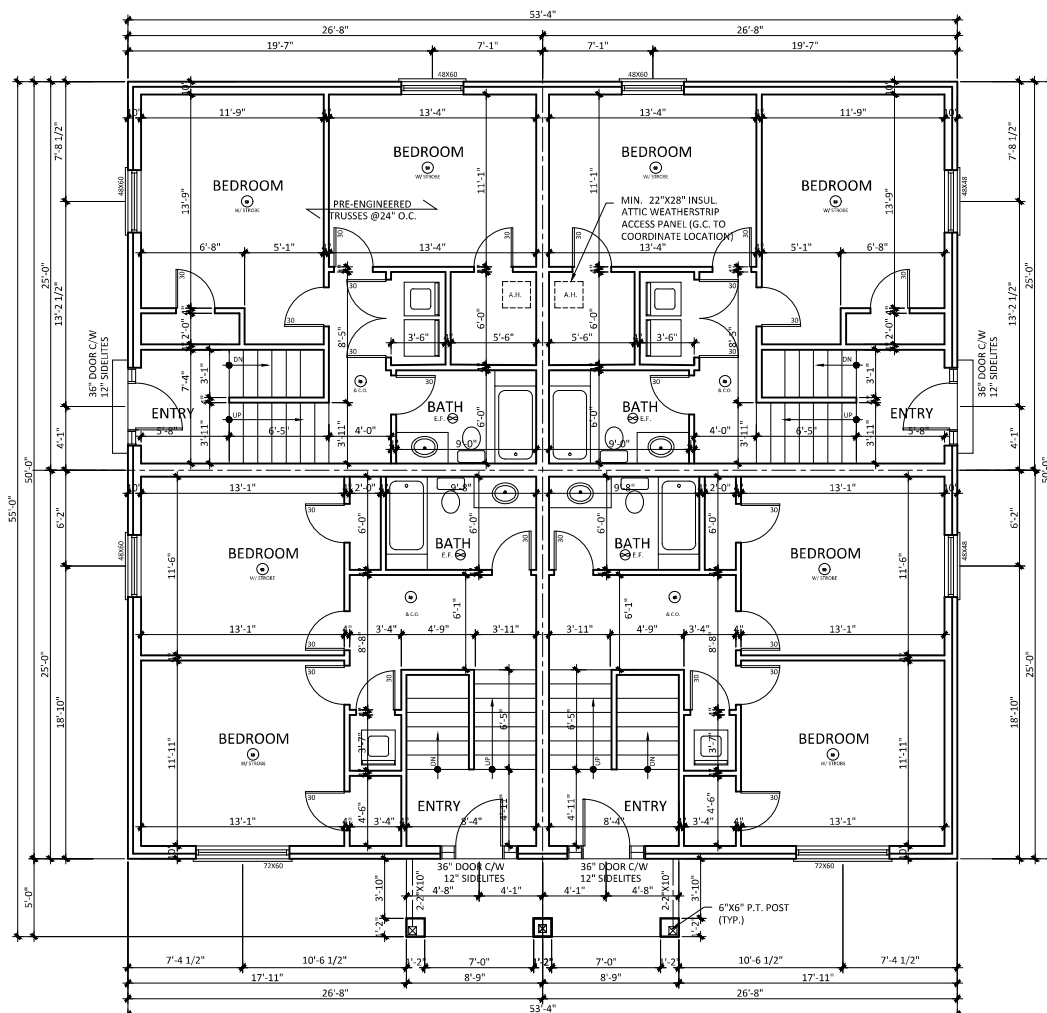
REQUIRED AT BEDROOM  
AREAS AS PER 9.20.19.3 O.B.C.

[illegible]

**WARNING: ELECTRICAL SHOCK HAZARD. WIRING MUST BE BY OR UNDER CLOSE SUPERVISION OF A LICENSED ELECTRICIAN. ELECTRICAL WORKING MUST BE BY OR UNDER CLOSE SUPERVISION OF A LICENSED ELECTRICIAN.**

FROM LOUDBORING WALLS  
PARALLEL TO THE FLOOR  
JOISTS SHALL BE SUPPORTED  
BY JOISTS BENEATH THE WALL

ON THE BLOCK AND OUT FROM  
THE JOISTS @ 48" O.C.



main floor plan  
living area: 667 sq.ft. per unit

01	24MAY25	ISSUED FOR PERMIT
no.	date	revision

client  
project 1885 & 1887 NORTHWAY  
Semi-detached With ADU  
drawing MAIN FLOOR PLAN

**cq design group** 2216 hall ave. windsor | 519.817.6241 | [stacie@cqdesign.com](mailto:stacie@cqdesign.com)

scale	date
3/168-11/07	AUGUST 2023

drawn by ST drawing no.

checked by

date  
AUGUST 2022

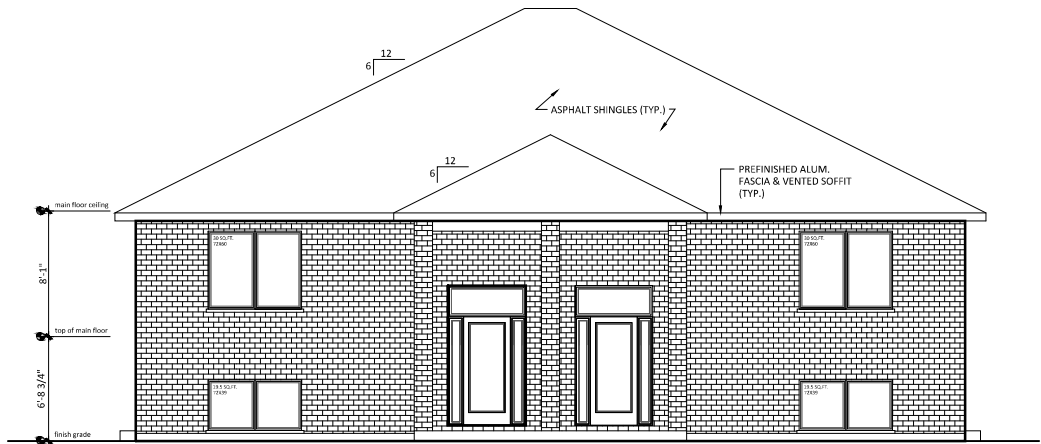
drawing no.

A2

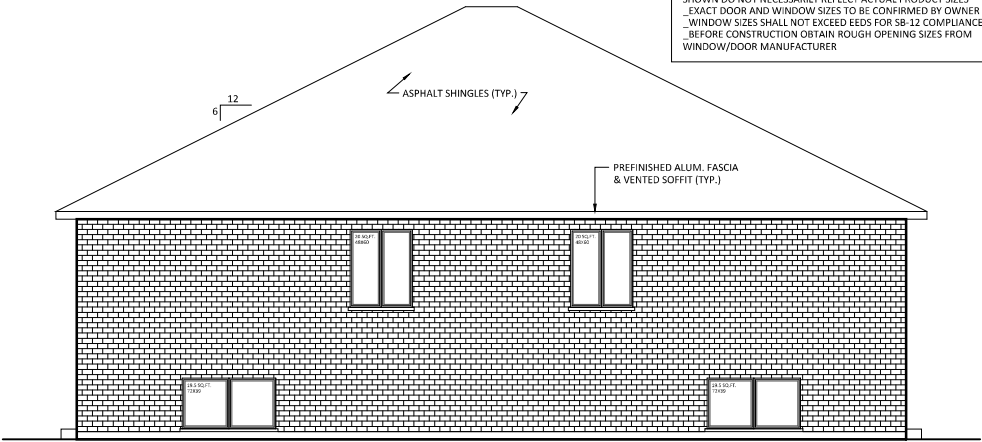
notes

\_do not scale drawings  
\_all dimensions are to be checked and  
verified on the job site  
\_any and all discrepancies are to be reported  
to the designer before construction

north



front elevation



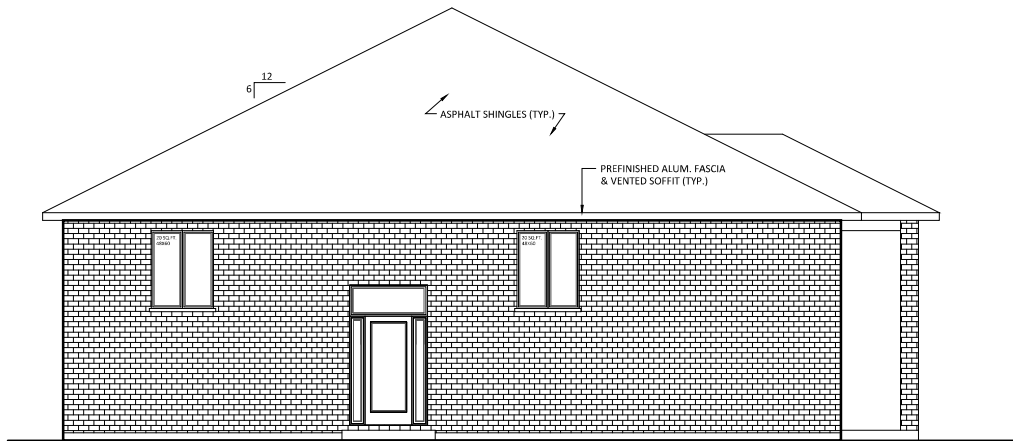
back elevation

ALL WINDOWS AND DOOR SIZES TO BE CONFIRMED BY BUILDER - SIZES SHOWN DO NOT NECESSARILY REFLECT ACTUAL PRODUCT SIZES  
- EXACT DOOR AND WINDOW SIZES TO BE CONFIRMED BY OWNER  
- WINDOW SIZES SHALL NOT EXCEED EEDS FOR SB-12 COMPLIANCE  
- BEFORE CONSTRUCTION OBTAIN ROUGH OPENING SIZES FROM WINDOW/DOOR MANUFACTURER

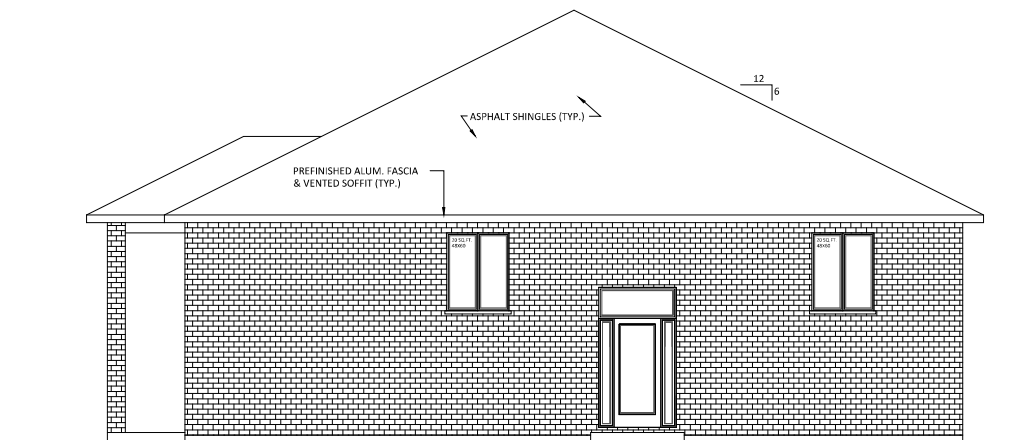
01	24MAY25	ISSUED FOR PERMIT
no.	date	revision

client	scale	date
project	3/16"=1'-0"	AUGUST 2022
1885 & 1887 NORTHWAY	drawn by	drawing no.
Semi-detached With ADU	ST	
drawing	checked by	A3
ELEVATIONS		
cq design group	2216 hall ave. windsor   519.817.6241   stacie@cqdesign.com	

notes  
- do not scale drawings  
- all dimensions are to be checked and  
verified on the job site  
- any and all discrepancies are to be reported  
to the designer before construction  
north



left elevation



right elevation

„G.C. RESPONSIBLE FOR REVIEWING AND APPROVING ENGINEERED ROOF AND FLOOR TRUSS DESIGNS PRIOR TO MANUFACTURING AND MUST RELAY ANY RELEVANT INFORMATION TO THIS DESIGNER

„EXTERIOR FINISHES AND FINISHING SYSTEMS ARE FOR DEMONSTRATION, G.C. MAY USE APPROVED FINISHES AND FINISHING SYSTEMS THAT MEET MINIMUM DESIGNER MUST BE INFORMED AND APPROVE CHANGES FROM DEMONSTRATED FINISHES AND FINISHING SYSTEMS

„WINDOW AND DOOR SIZES ARE FOR REFERENCE ONLY, G.C. TO CONFIRM ALL SIZES w/ MANUF. OR SUPPLIER AND NOTIFY THIS DESIGNER OF ANY SIGNIFICANT CHANGES

„G.C. TO OVERSEE ROOF DESIGN AND ADD SADDLES AS NECESSARY FOR ROOF DRAINAGE - FINAL ROOF DESIGN TO BE COMPLETED BY TRUSS MANUFACTURER

„G.C. IS RESPONSIBLE TO ALSO REVIEW TRUSS SHOP DWG'S AND APPROVE AND UNDERSTAND ALL CONSTRUCTION METHODS AND DETAILS OF PRELIM. ROOF SHOP DRAWINGS AND APPROVE PRIOR TO SUBMITTING PERMIT DRAWINGS BY THIS DESIGNER

„G.C. MUST CHECK ALL DIMENSION OF PLANS AND FIELD DIM. PRIOR TO ORDERING PRE. ENG TRUSSES AND REPORT AND DIFFERENCES TO THIS DESIGNER IN WRITING IMMEDIATELY PRIOR TO ERECTION AND FABRICATION OF TRUSSES

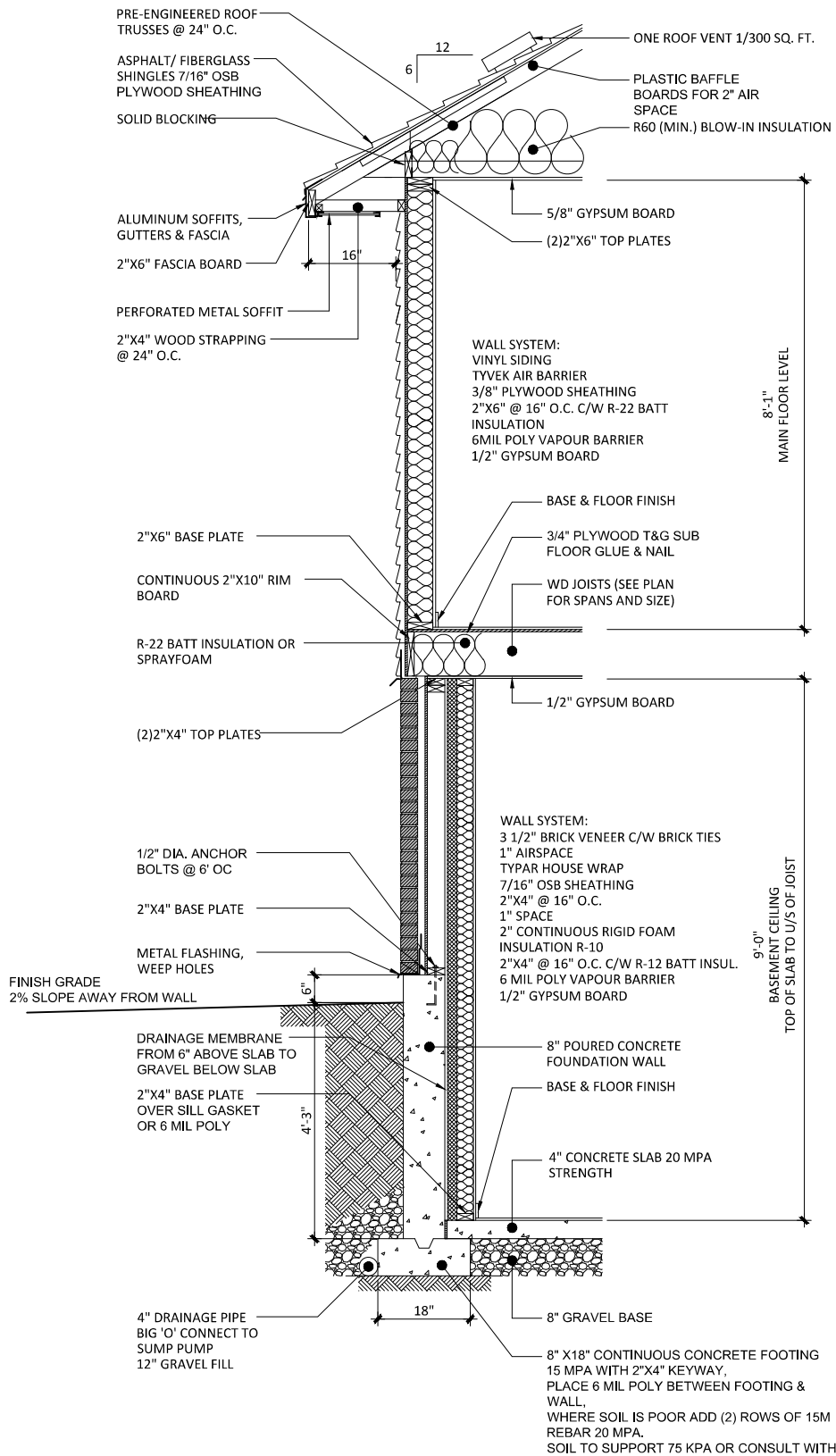
01	24MAY25	ISSUED FOR PERMIT
no.	date	revision

client	scale	date
project	3/16"=1'-0"	AUGUST 2022
1885 & 1887 NORTHWAY	drawn by	drawing no.
Semi-detached With ADU	ST	
drawing	checked by	
ELEVATIONS		A4

cq design group 2216 hall ave. windsor | 519.817.6241 | stacie@cqdesign.com

notes  
 „do not scale drawings  
 „all dimensions are to be checked and verified on the job site  
 „any and all discrepancies are to be reported to the designer before construction  
 north



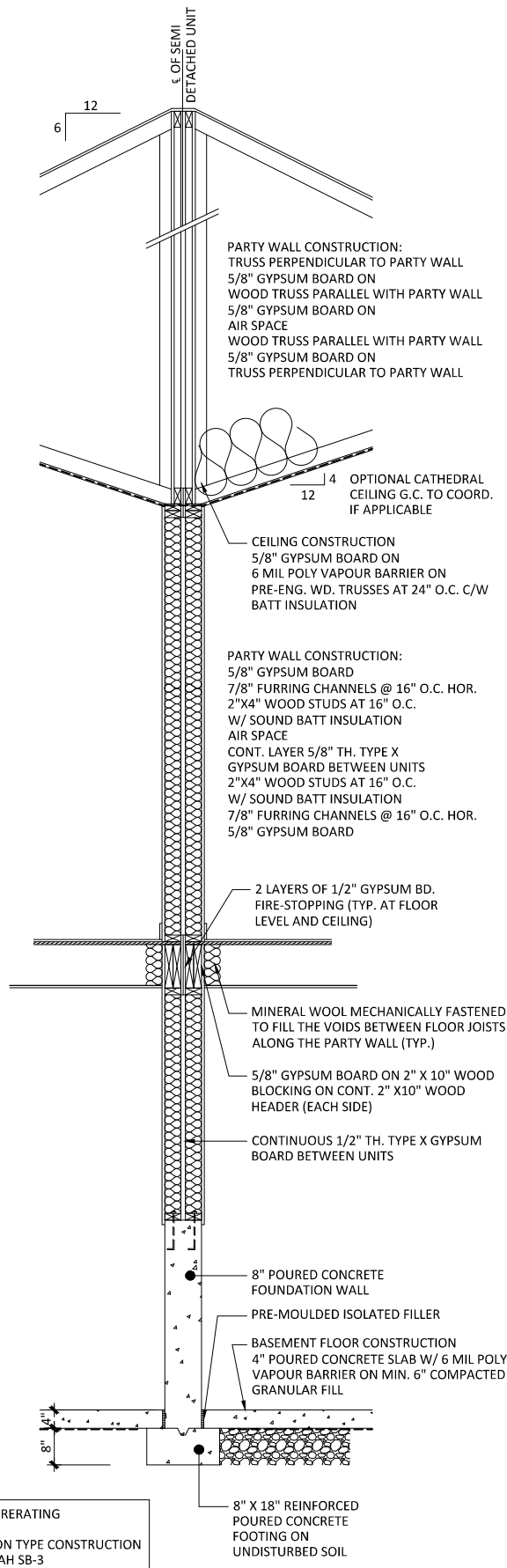


01	24MAY25	ISSUED FOR PERMIT
no.	date	revision

client	scale	date
	1/2" = 1'-0"	AUGUST 2022
project	drawn by	drawing no.
NORTHWAY	ST	
Semi-detached With ADU	checked by	
drawing		
TYPICAL WALL SECTION		

**A5**

notes  
 -do not scale drawings  
 -all dimensions are to be checked and  
 verified on the job site  
 -any and all discrepancies are to be reported  
 to the designer before construction  
 north



01	24MAY25	ISSUED FOR PERMIT
no.	date	revision

client	scale	date
1885 & 1887 NORTHWAY	1/2" = 1'-0"	AUGUST 2022
project	drawn by	drawing no.
Semi-detached With ADU	ST	
drawing	checked by	
TYPICAL PARTY WALL SECTION		

cq design group 2216 hall ave. windsor | 519.817.6241 | stacie@cqdesign.com

notes

do not scale drawings  
all dimensions are to be checked and  
verified on the job site  
any and all discrepancies are to be reported  
to the designer before construction

north

A6