

COMMITTEE OF ADJUSTMENT

APPLICANT : LEKA ANN DEMIRAJ, LUCAS DANIAL PATRICK GAMBLE

ADDRESS : 2633 PARENT AVENUE



SUBJECT LANDS

PLANNING AND BUILDING DEPARTMENT

N.T.S.



DATE : JUNE 12, 2025

FILE NO. : A-049/25

CITY OF WINDSOR

File: A-049/25

COMMITTEE OF ADJUSTMENT PUBLIC HEARING

PURSUANT to Section 45 of the Planning Act, a Committee of Adjustment public hearing will be held to consider a minor variance to Zoning By-law 8600. This is not an application for a zoning change.

You are receiving this notice of hearing as a courtesy because the Committee of Adjustment identified your property as located within a 40 meters circulation area of the subject lands. Notice as required by the Planning Act was given by publication of the Committee of Adjustment’s Agenda Record in the Windsor Star on May 28, 2025.

APPLICATION FOR MINOR VARIANCE – Relief from the operation of Zoning By-law 8600

Owner:	LEKA DEMIRAJ, LUCAS GAMBLE	Location:	2633 PARENT AVE
Legal Description:	PLAN 1269 LOT 42	Zoning:	Residential RD1.3
Official Plan:	Residential		
Explanation:	Maximum lot coverage and minimum separation from the side lot line for an accessory building with an ADU, thereby requesting the following relief:		

Section 5.99.80.1.5.b.3 - Minimum side yard setback for a new addition to an accessory building to which will include an additional dwelling unit

By Law Requirements	Proposed
1.20 m	0.71 m

Section 5.10.9.10 – Maximum lot coverage for all accessory buildings

By Law Requirements	Proposed
10 %	13%

COMMITTEE OF ADJUSTMENT HEARING - 519-255-6543 ext 6436 or 6450

When: June 12, 2025 at 3:30 pm

Where: VIA VIDEO CONFERENCE
(information on how to join the public meeting will be on the City of Windsor website prior to the meeting date)

You are invited to attend this hearing and express any interest you may have in this application. Written comments are also acceptable and may be submitted in person, by mail, by fax or by email. All comments must be received **NO LATER than 4:30PM on the Wednesday, prior to the meeting date.** Comments received after such, will not be included at time of hearing.

The applicant or agent must attend the meeting. If you do not attend or send a representative, the Committee may proceed in your absence without any further notice to you. To be notified of the decision of the Committee of Adjustment regarding this application, you must submit a written request to the Secretary-Treasurer.

It is the practice of Committee of Adjustment members to visit the site prior to considering this application. Administrative comments are available by email after 12:00 noon on the Friday prior to the hearing.

Jessica Watson
Secretary-Treasurer, Committee of Adjustment

Suite 210, 350 City Hall Square West
Windsor ON N9A 6S1

Dated: May 29, 2025

Tel: 519-255-6543
Fax: 519-255-6544
Email: jwatson@citywindsor.ca
Web: www.citywindsor.ca

1	Application Information																
	Name of ALL Owners Lucas Gamble		Contact No. 519-551-2369														
	Business Telephone No.																
	Address 2633 Parent Ave., Windsor, Ontario E-Mail Address: glilmiss@mnsi.net		Postal Code N8X 4K6														
	Name of Contact Person/Agent (if different than owner) Shawn Piskovic		Contact No. 519-818-7024														
	Business Telephone No. 519-818-7024																
	Address 12122 Evergreen Dr. Tecumseh, Ontario E-Mail Address: dsignerman@yahoo.com		Postal Code N8N 1G9														
	Fax No.																
	PAYMENT CONTACT INFORMATION ONLY:																
	Name: Dan Gamble																
	Contact No: 519-551-2369																
2	Date application submitted to the City of Windsor. 05/13/2025																
3	Present Official Plan Provisions applying to the land: Residential																
4	Present Zoning By-law provisions applying to the land: Residential District 1.3 (RD1.3)																
5	Nature and extent of relief applied for: (you MUST list each By-law Section etc. and relief requested)																
	1. Maximum lot coverage for all accessory buildings [5.10.9.10]: - 10% (Required) - 13% (Provided) 2. Minimum side yard separation from side lot line for an accessory building with an additional dwelling unit [5.99.60.5.b.3]: - 1.20 m (Required) - 0.71 m (Provided)																
6	State why it is NOT possible to comply with the provisions of the by-law. (Must be complete) Side addition is existing, and has been there for a long time, time is unknown.																
7	Legal Description of the Subject Land(s)																
	Municipality Windsor	Street Name Parent Ave	Street Address 2633-B														
	Concession Number(s)	Registered/reference Plan No.	Lot/Part No.(s)														
	Parcel No.	Plan 1269 / Lot 42															
8	Dimensions of Land Affected: THIS SECTION MUST BE COMPLETE																
	Lot Frontage/Width 35'0" / 11.0 M	Depth 135'0" / 41.5 M	Lot Area 4725 SF / 439.0 SQM														
9	Access (check appropriate space)	Provincial Highway Municipal road, maintained all year Municipal road, seasonally maintained Other public road Right of way Water only. If yes, the docking facilities to be used and the approximate distance of these facilities from the subject land and the nearest public road	<table border="0"> <tr> <td>Yes</td> <td>No</td> </tr> <tr> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	Yes	No	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Yes	No																
<input type="checkbox"/>	<input checked="" type="checkbox"/>																
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<input type="checkbox"/>	<input type="checkbox"/>																
10	Water Supply	Publicly owned and operated piped water system... Privately owned and operated..... Individual or communal well..... Lake or other water body..... Other	<table border="0"> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				
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11	Sewage Disposal	Publicly owned and operated piped sewage system..... Privately owned and operated individual or communal septic tank system..... Pit, privy, or other	<table border="0"> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>								
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<input type="checkbox"/>	<input type="checkbox"/>																
<input type="checkbox"/>	<input type="checkbox"/>																

12	Storm Drainage	Municipal Sewers Ditches or Swales Other (specify)	<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
13	The existing uses of the subject land: NOTE: legal non-conforming use applications <u>must</u> provide evidence to support its status to the Planning Department (Zoning Coordinator and Planner).			
14	The proposed uses of the subject land: Residential ADU / Detached / Unit B (new accessory structure conversion)			
15	Whether any buildings or structures are proposed to be built on the subject land. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown If the answer to item 15 is yes, for each building or structure please provide on the drawing submitted the type of building or structure, the setback from the front lot line, rear lot line, and side lot lines, the height in metres of the building or structure and the dimensions or floor area of the building or structure.			
16	Date the subject land was acquired by the current owner.		<input type="checkbox"/> Unknown	
17	The date the existing buildings or structures on the subject land were constructed.		<input checked="" type="checkbox"/> Unknown	
18	The length of time that the existing uses of the subject land have continued.		<input type="checkbox"/> Unknown	
19	Forever, property has been residential and the addition to the garage has been on property for a long time.			
19	If known, whether the subject land has ever been the subject of an application under section 45 of the Act? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown If yes, describe briefly: Year: Type of Relief:			
20	If known, whether the subject land is the subject of an application under the Act for approval of a plan of subdivision or a consent? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown If yes, the status of the application:			
21	Applications submitted without the noted requirements will be considered incomplete and will be returned. <u>Minimum Standards for Drawings:</u> Ontario Regulations 200/96 of the Planning Act provides the requirement of a sketch showing the following: its:		Included	Not Applicable
	a) The boundaries and dimensions of the subject land.		<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b) The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and side yard lot lines.		<input checked="" type="checkbox"/>	<input type="checkbox"/>
	c) The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream bands, wetlands, wooded areas, wells and septic tank.		<input checked="" type="checkbox"/>	<input type="checkbox"/>
	d) The current uses on land that is adjacent to the subject land.		<input checked="" type="checkbox"/>	<input type="checkbox"/>
	e) The location, width and name of any roads withing or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.		<input checked="" type="checkbox"/>	<input type="checkbox"/>
	f) If access to the subject land is by water only, the location of the parking and docking facilities to be used.		<input checked="" type="checkbox"/>	<input type="checkbox"/>
	g) The location and nature of any easement affecting the subject land.		<input checked="" type="checkbox"/>	<input type="checkbox"/>
	The required sketch map has been included with this application form. <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			

Note: Drawings must be in metric units.
Examples of acceptable drawings can be obtained upon request.

Design Firm:



Office Address:
12122 Evergreen Dr.
Tecumseh, Ontario, N8N 1G9

Contact:
Call / Text: 519-818-7024
Email: dzigner@dzigner.com

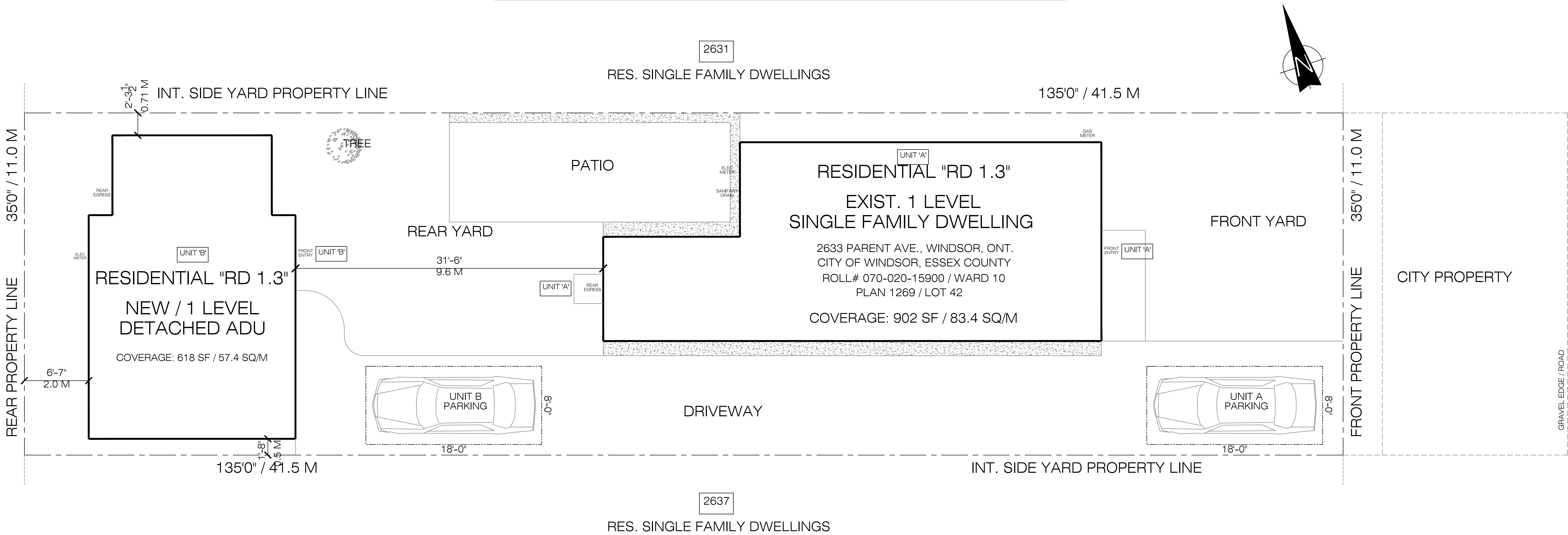
Website:
www.DZigner.com

Serving Ontario Province Wide
CALL 'THE MAN' WITH THE PLAN

Revision	Date	Initials
1	04/07/2025	SP

The undersigned has reviewed and takes responsibility for this drawing and the design and construction of the project and is a duly qualified and licensed professional engineer or architect under the Engineering and Architectural Act, R.S.O. 1990, c. 19, and the Regulations made thereunder.	
QUALIFICATION INFORMATION	Registration No. 2510
Registration Category: Registered Professional Engineer	Registration Class: 3.2.4.1. of the Building Code
REGISTRATION INFORMATION	Registration No. 2510
Registration Category: Registered Professional Engineer	Registration Class: 3.2.4.1. of the Building Code
Professional Seal	Professional Seal

SITE ANALYSIS:	IMPERIAL	METRIC
TOTAL PROPERTY SIZE:	4,725 SF	439.0 SQ/M
EXIST. HOUSE COVERAGE:	902 SF	83.4 SQ/M
NEW DETACHED ADU COVERAGE	618 SF	57.4 SQ/M
TOTAL COVERAGE:	1,520 SF	141.2 SQ/M



S-1 **Site Plan**

2633 PARENT AVE., WINDSOR, ONT.

PERMIT PLAN

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
Individual BCIN: 20565
Firm BCIN: 110812

MANPREET KOHLI

Manpreet Kohli



Issued For:

Permit Drawings

City of Windsor, Ontario

P.O. # 2510

Dan & Lucas Gamble
2633 Parent Ave.
Windsor, Ont., Ontario
N8X 4K6

Final Square Footage
618 SF / 57.4 SQ/M

Drawing Type:
Detached Accessory Structure ADU

Designed By:
Shawn Piskovic
Lead BCIN Designer

Scale: 3/16"=1' Drawing I.D.

Date: 05/07/25
Province: Ontario

01



MANPREET KOHLI



Design Firm:



Office Address:
12122 Evergreen Dr.
Tecumseh, Ontario, N8N 1G9

Contact:
Call / Text: 519-818-7024
Email: dzignerman@yahoo.com

Website:
www.DZignerman.com

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CALL 'THE MAN' WITH THE PLAN

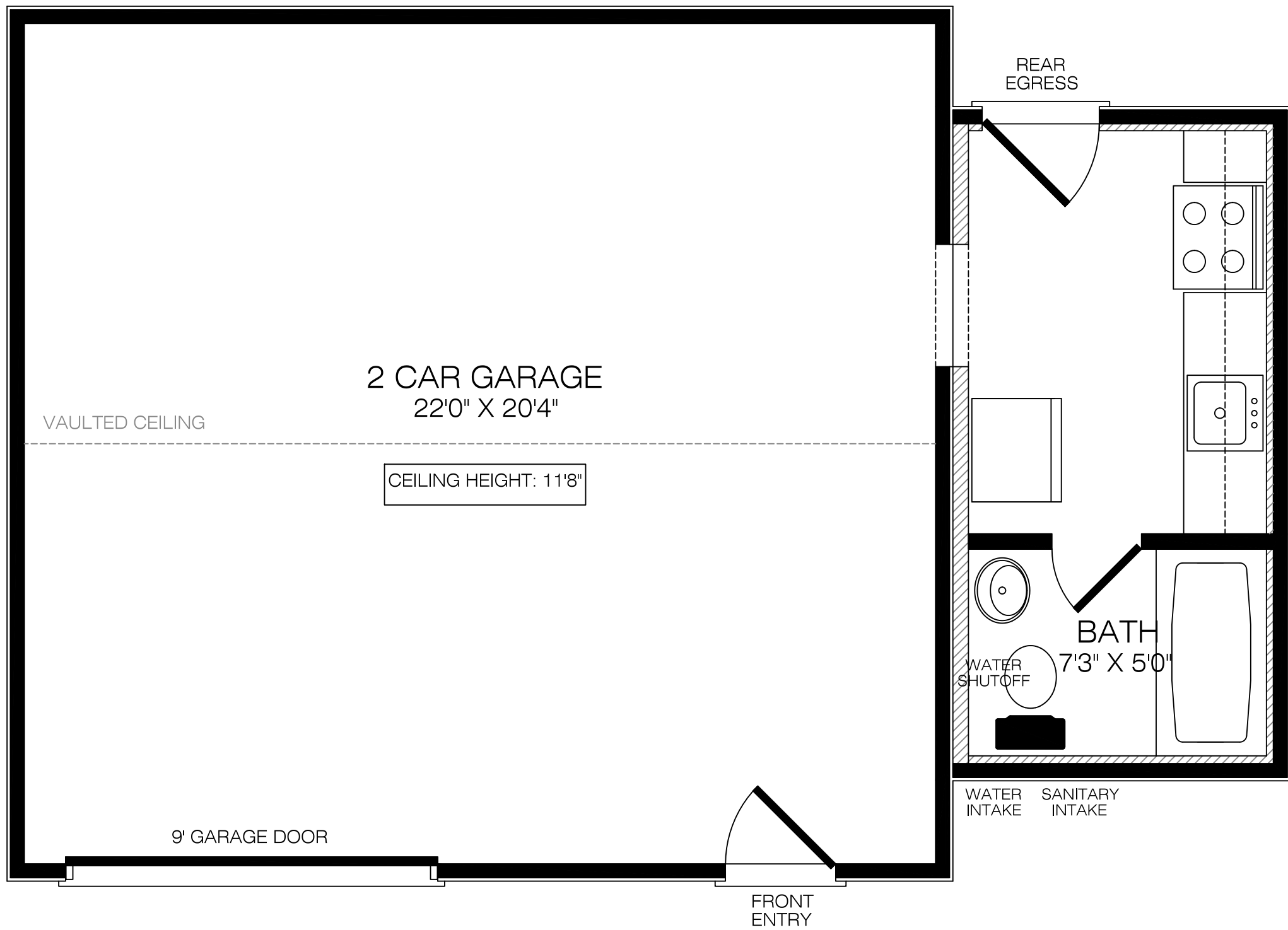
Revision	Date	Initials
1	04/07/2025	SP

The undersigned has reviewed and issued responsibility for this design and the full certification and scope for implementation and is in full compliance with the Building Code for a Designer.	
QUALIFICATION INFORMATION Required unless design is signed under 3.2.5.1 of the Building Code	BCIN
REGISTRATION INFORMATION Required unless design is signed under 3.2.4.1 of the Building Code	BCIN
DESIGNER SIGNATURE	DATE
DATE	DATE

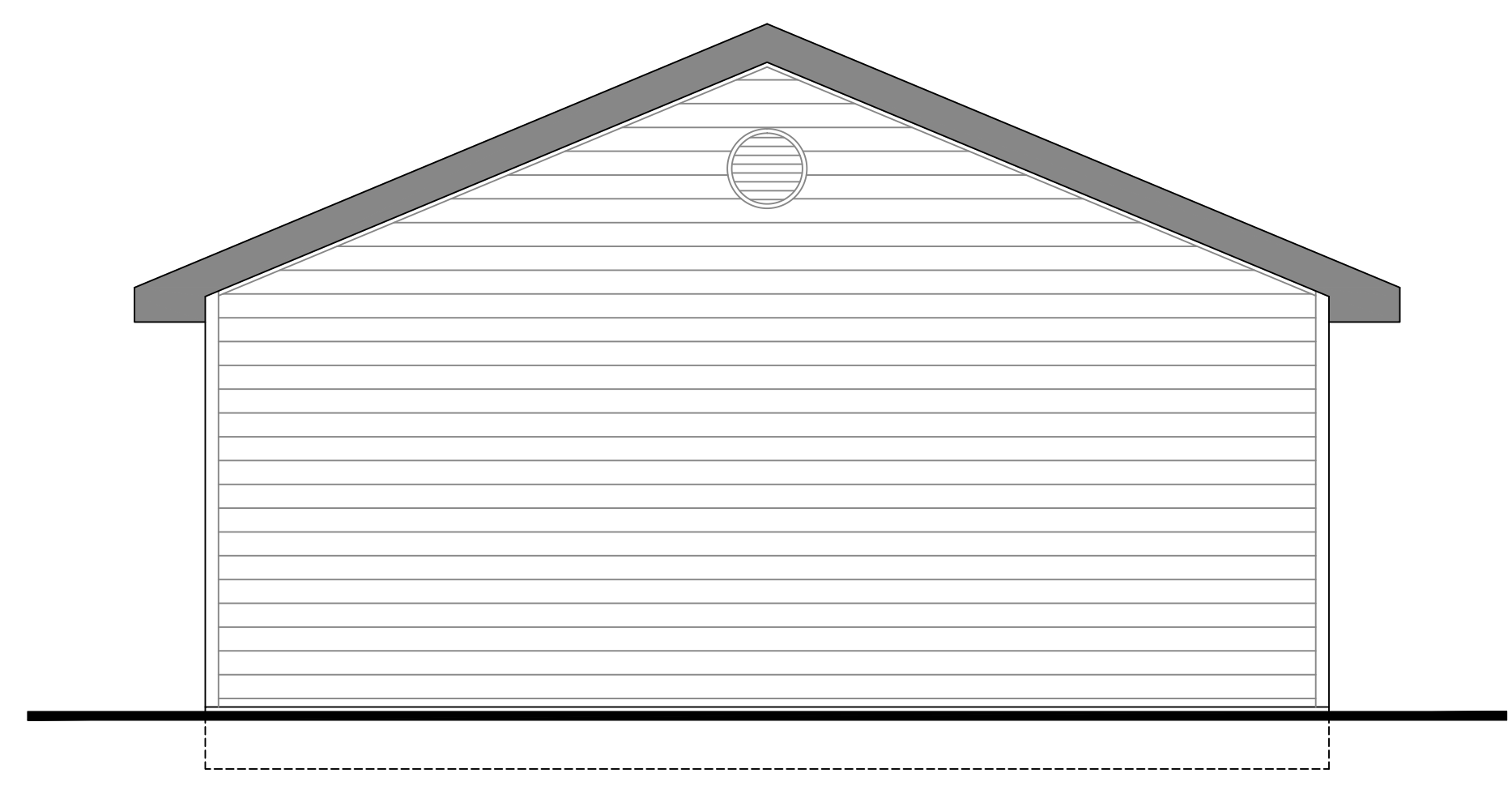
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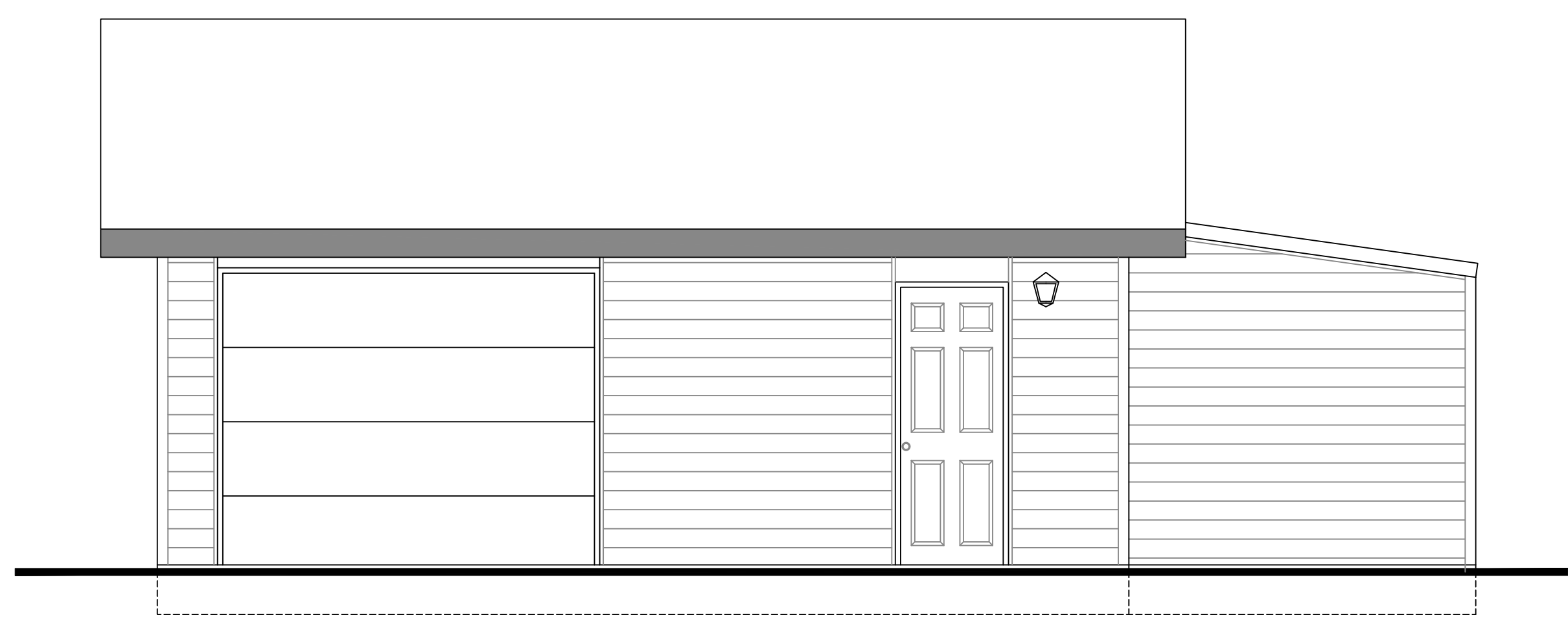
Manpreet Kohli



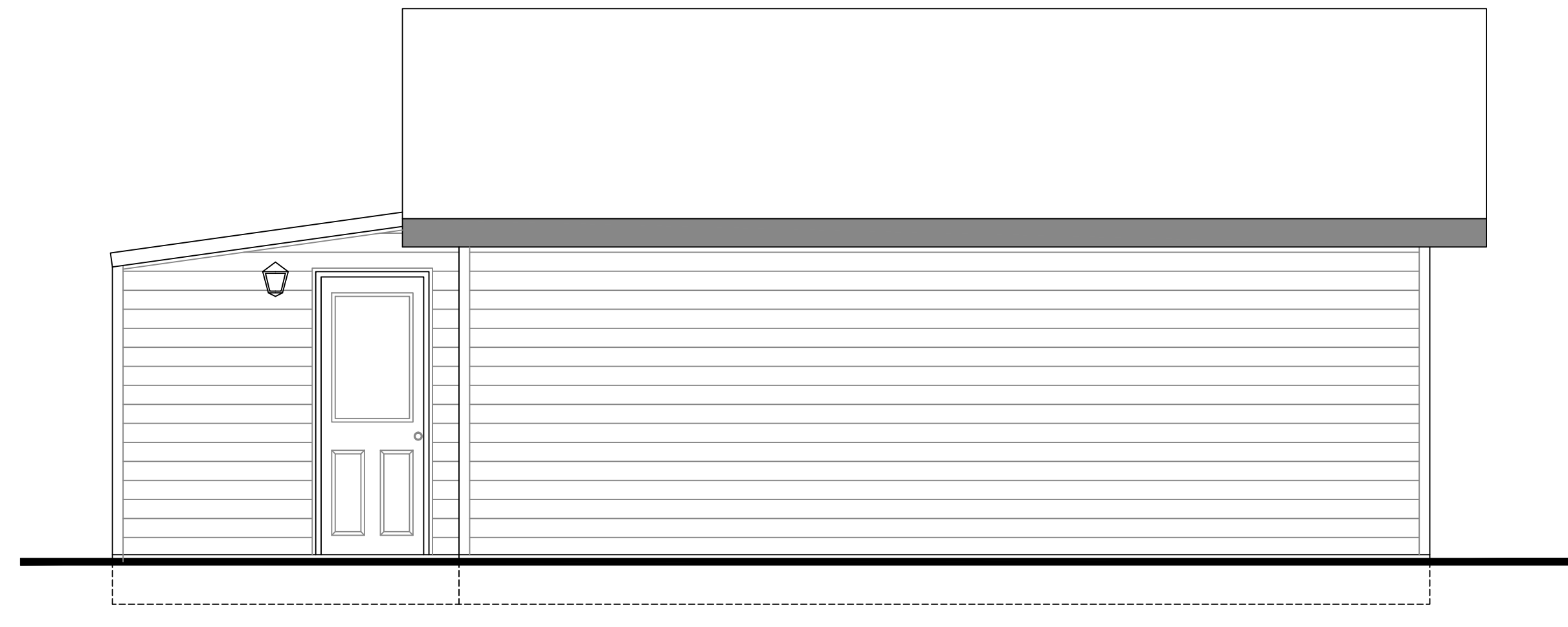
2633 PARENT AVE., WINDSOR, ONT.
A-1 Existing Main Floor Plan
EXIST. INT. FLOOR SPACE: 575 SF
EXIST. COVERAGE: 618 SF
PRESENTATION PLAN



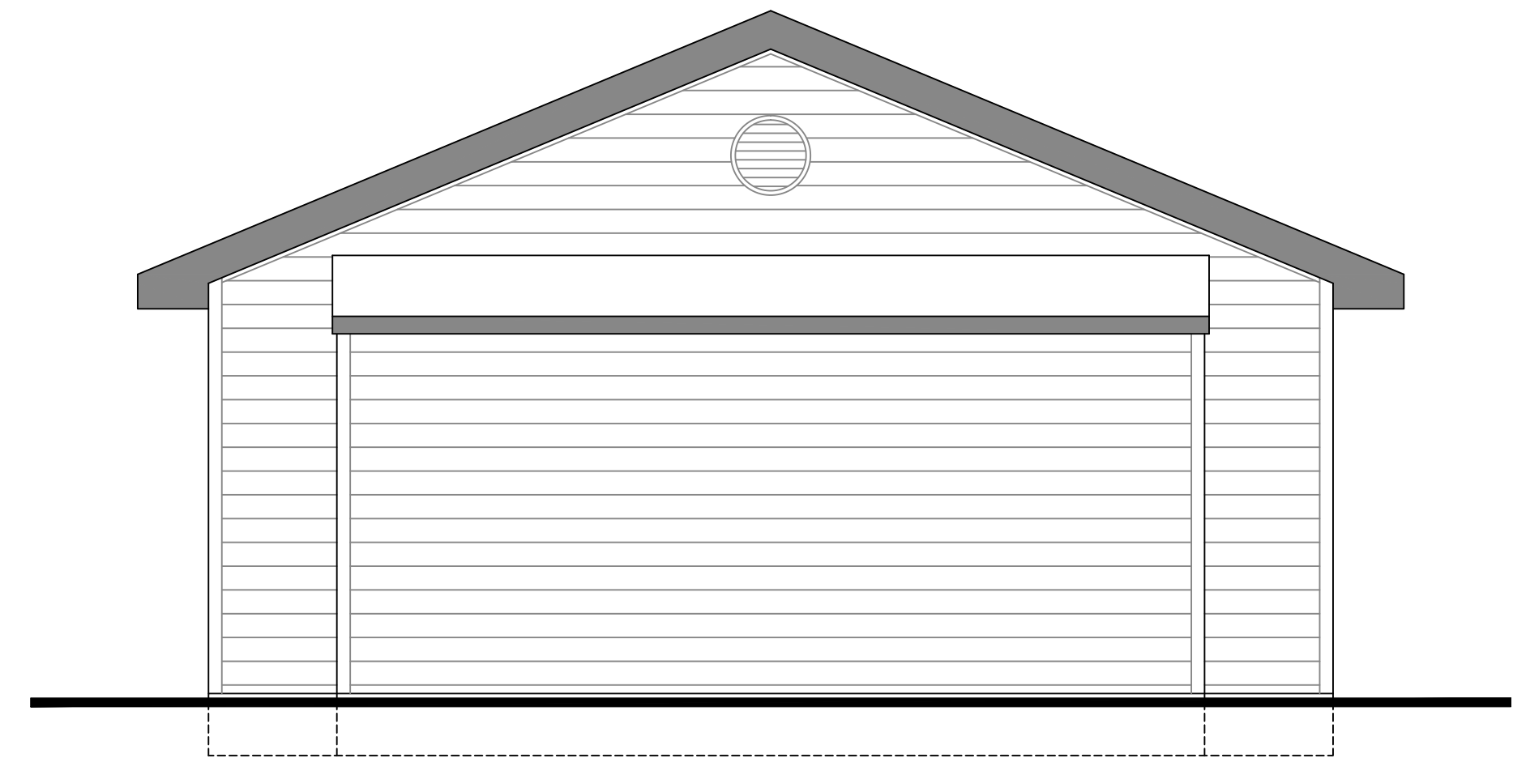
2633 PARENT AVE., WINDSOR, ONT.
E-2 Existing Left Side Elevation
PRESENTATION PLAN



2633 PARENT AVE., WINDSOR, ONT.
E-1 Existing Front Elevation
PRESENTATION PLAN



2633 PARENT AVE., WINDSOR, ONT.
E-3 Existing Front Elevation
PRESENTATION PLAN



2633 PARENT AVE., WINDSOR, ONT.
E-4 Existing Right Side Elevation
PRESENTATION PLAN



Shawn Piskovic
DZIGNER MAN & ASSOCIATES

Issued For:
Permit Drawings
City of Windsor, Ontario

P.O. #:
2510

Dan & Lucas Gamble
2633 Parent Ave.
Windsor, Ont., Ontario
N8X 4K6

Final Square Footage
618 SF / 57.4 SQM

Drawing Type:
Detached Accessory Structure ADU

Designed By:
Shawn Piskovic
Lead BCIN Designer

Scale: NTS
Date: 05/07/25
Province: Ontario

Drawing I.D.
03

HVAC / MECHANICAL: PLEASE SEE HVAC DESIGN FOR CEILING MOUNTED HRV W/ MINI SPLIT SPEC AS PER MECHANICAL DESIGNERS PACKAGE (ATTACHED TO THIS PACKAGE)

ALL INTERIOR VAULTED CEILING INSULATION:
R31 SPRAY FOAM (CLOSED CELL) INSULATION THROUGHOUT ENTIRE VAULTED CEILING
W/ 6 MILL POLY VAPOUR BARRIER & INT. 1/2" DRYWALL CEILING (OPT. METAL FURRING)

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE REPORTING ANY ERRORS AND OMISSIONS TO DZIGNERMAN & ASSOCIATES WITHOUT DELAY BEFORE STARTING CONSTRUCTION AND RENOVATION.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE DRAWINGS ARE BASED ON CURRENT DATA.

ANY VARIATIONS DURING CONSTRUCTION FROM THESE DRAWINGS MUST BE REPORTED TO DESIGNER. AS BUILT DRAWINGS MUST BE MAINTAINED BY THE CONTRACTOR ON SITE.

PLUMBING NOTE: ALL NEW PLUMBING (FIXTURES & HARDWARE, ROUGH IN) TO BE INSTALLED (I.E. SUPPLY LINES, VENTING DRAINS, ETC.)

ICON LEGEND

EL

EMERGENCY 12 VOLT DC LIGHT

SC

SMOKE ALARM & CARBON MONOXIDE DETECTOR

BR F

BATHROOM EXHAUST FAN VENTED OUTSIDE

D VT

DRYER VENTED OUTSIDE

ST F

STOVE FAN VENTED OUTSIDE

F VT

FURNACE VENTED OUTSIDE

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
Individual BCIN: 20565
Firm BCIN: 110812

MANPREET KOHLI



NOTE: ALL INT. DOORS ARE MIN. 6'8" HIGH

WALL TYPE LEGEND:

NEWLY ADDED WALL

EXISTING WALL

REMOVE WALL

WALL TYPE LEGEND

WA

INTERIOR WALLS
2X4 @ 16" O/C
W/ 1/2" DRYWALL

WB

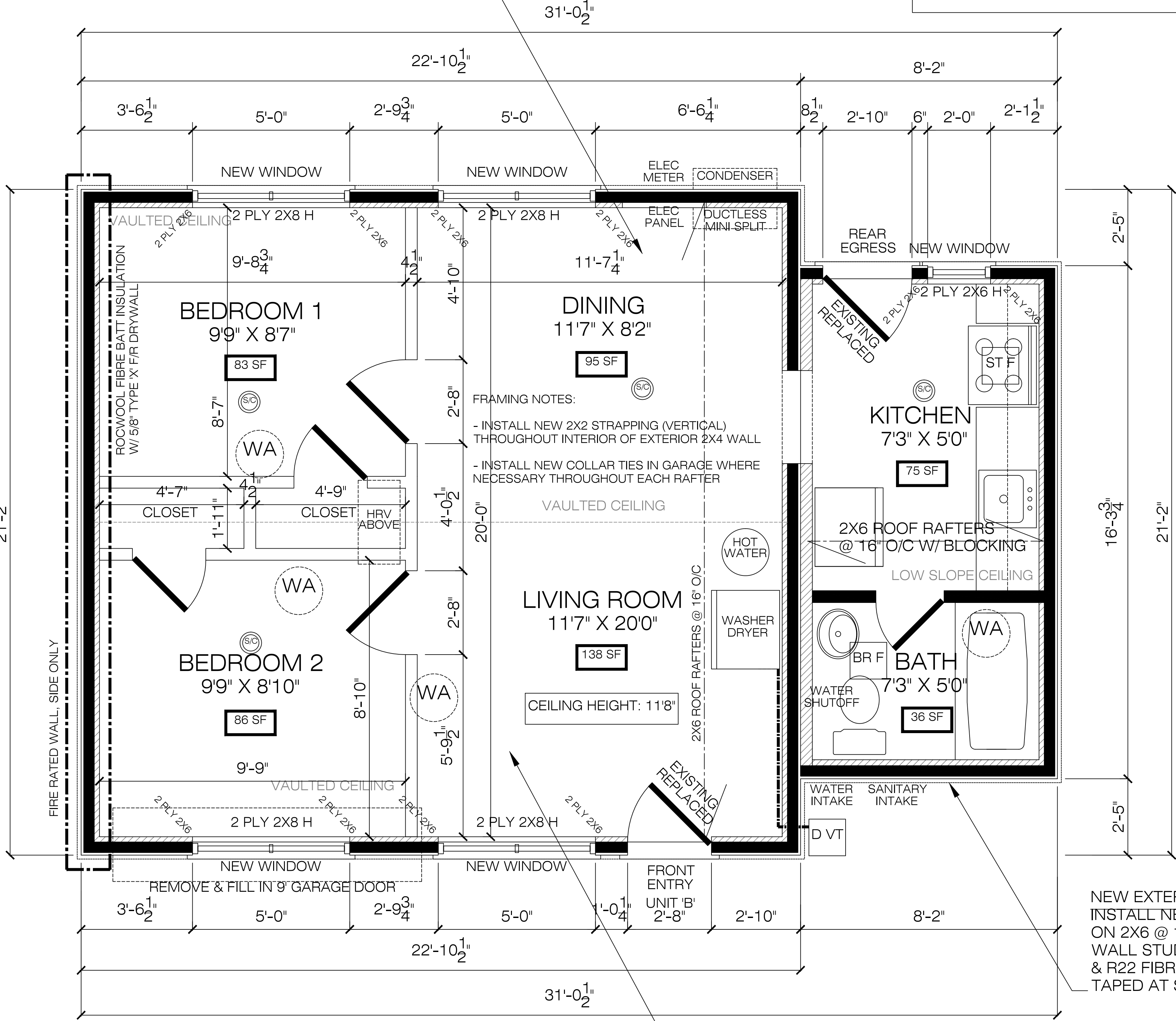
INTERIOR WALLS
2X6 @ 16" O/C
W/ 1/2" DRYWALL

NOTE: ALL WORK TO COMPLY WITH PART 9 OF THE OBC

NEW EXTERIOR WALL FINISH:
INSTALL NEW VINYL CLADDING ON 1.5" RIDGID INSULATION (R7.5)
ON 2X6 @ 16" O/C SPRUCE WOOD (CREATED FROM EXIST. 2X4 STUDS)
WALL STUDS W/ TYVEK AIR BARRIER ON EXT. 5/8" WOOD WALL SHEATHING
& R22 FIBRE BATT INSULATION & 6 MILL POLY VAPOUR BARRIER
TAPED AT SEAMS & 1/2" DRYWALL THROUGHOUT

FLOORING NOTE: (MIN R10)
INSTALL MIN. 2" THICK RIDGID INSULATION ON CONCRETE SLAB
W/ 5/8" WOOD SUBFLOOR THROUGHOUT ENTIRE FLOOR SPACE

FRAMING MEMBERS TO BE SIZED AND INSTALLED ON SITE
WITH NECESSARY METAL HARDWARE WHERE REQUIRED (I.E. HANGERS, BRACKETS, ETC.)



B-1

2633 PARENT AVE., WINDSOR, ONT., UNIT 'B'

Proposed Main Floor Plan

NEW INT. FLOOR SPACE: 558 SF
EXIST. COVERAGE: 618 SF
NEW GFA: 618 SF

PRESENTATION PLAN



Shawn Piskovic
DZIGNER MAN & ASSOCIATES

Issued For:	Permit Drawings City of Windsor, Ontario
P.O. #:	2510
	Dan & Lucas Gamble 2633 Parent Ave. Windsor, Ont., Ontario N8X 4K6
Final Square Footage	618 SF / 57.4 SQM
Drawing Type:	Detached Accessory Structure ADU
Designed By:	Shawn Piskovic Lead BCIN Designer
Scale:	1/4" = 1'
Date:	05/07/25
Province:	Ontario

I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
Individual BCIN: 20565
Firm BCIN: 110812

MANPREET KOHLI



EAVESTROUGHS W/ DOWNSPOUTS ARE INSTALLED THROUGHOUT AND DRAINED AWAY FROM THE DWELLING AT ALL POINTS OF THE PROPERTY.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE REPORTING ANY ERRORS AND OMISSIONS TO DZIGNERMAN & ASSOCIATES WITHOUT DELAY BEFORE STARTING CONSTRUCTION AND RENOVATION.

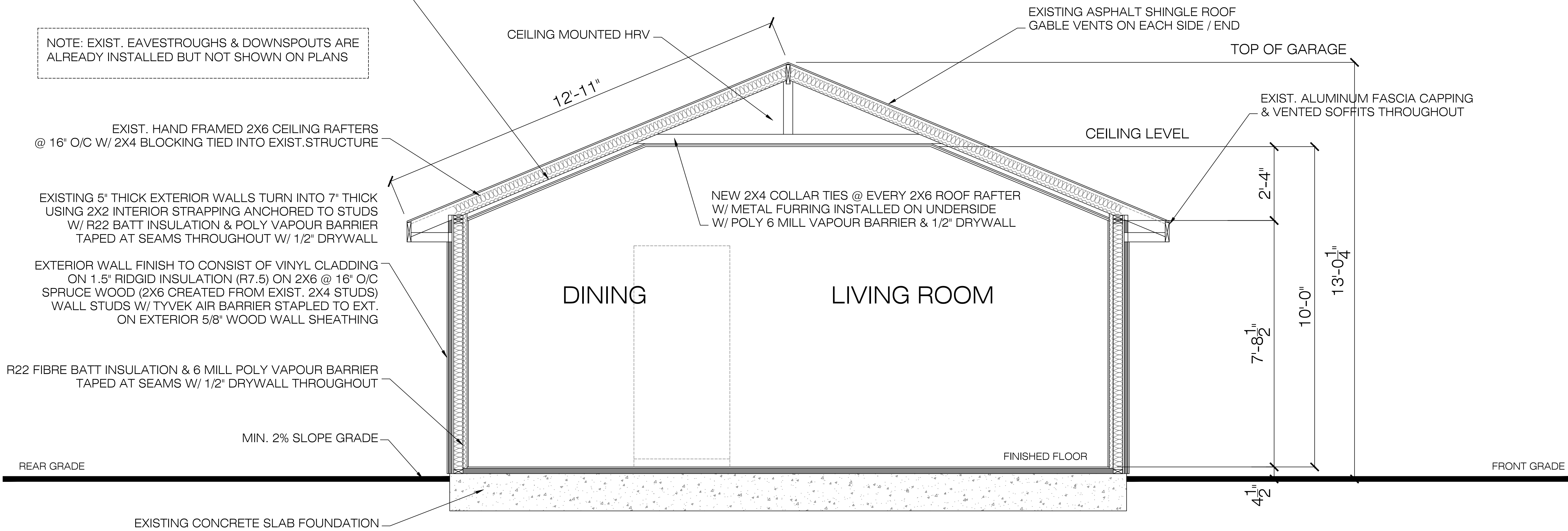
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ALL INTERIOR VAULTED CEILING INSULATION:
R31 SPRAY FOAM (CLOSED CELL) INSULATION THROUGHOUT ENTIRE VAULTED CEILING
ALONG WITH NEW 1/2" DRYWALL CEILING (OPT. METAL FURRING)

ROOFING: ASPHALT SHINGLE ROOFING ON FELT UNDERLAY W/ ICE & WATER SHIELD
ON 1/2" PLY ROOF SHEATHING ON EXISTING HAND FRAMED WOOD ROOF FRAME

FLASHING WHERE AND WHEN REQUIRED THROUGHOUT ALL ROOF PENETRATIONS
& VENTS STACKS FOR ALL BATHROOM FIXTURES & MISC EXHAUST PORTS



2633 PARENT AVE., WINDSOR, ONT.
C-1 **Proposed Crossection**

PERMIT PLAN

FLOORING NOTE: (MIN R10)
INSTALL MIN. 2" THICK RIDGID INSULATION ON CONCRETE SLAB
W/ 5/8" WOOD SUBFLOOR THROUGHOUT ENTIRE FLOOR SPACE

ENGINEER STAMP

Design Firm:

DZIGNERMAN & ASSOCIATES
2633 Parent Ave., Windsor, Ontario, N8X 4K6
Call / Text: 519-818-7024
Email: dzignerman@yahoo.com
Website: www.dzignerman.com
Serving Ontario Province Wide
CALL 'THE MAN' WITH THE PLAN

Revision	Date	Initials
1	04/07/2025	SP

The undersigned has reviewed and issued responsibility for this drawing and the design and construction of the project and is not responsible for any errors or omissions in the design or construction of the project.

QUALIFICATION INFORMATION
Registered Professional Engineer under 3.2.4. of the Building Code
Name: Shawn Piskovic
BCIN: 20565
Firm: DZIGNERMAN & ASSOCIATES

REGISTRATION INFORMATION
Registered Professional Engineer under 3.2.4. of the Building Code
Firm Name: DZIGNERMAN & ASSOCIATES

Issued For: Permit Drawings
City of Windsor, Ontario

P.O. #: 2510

Dan & Lucas Gamble
2633 Parent Ave.
Windsor, Ont., Ontario
N8X 4K6

Final Square Footage
618 SF / 57.4 SQM

Drawing Type:
Detached Accessory Structure ADU

Designed By:
Shawn Piskovic
Lead BCIN Designer

Scale: NTS
Drawing I.D.: 06

Date: 05/07/25
Province: Ontario