



# RJ Planner

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## **Planning Rationale Report**

Zoning By-Law Amendment

**3185, 3187, 318 and 3191 McRobbie Road**

City of Windsor

### **Prepared for:**

JD Empire Construction LTD

### **Report Date:**

July 2, 2025

**Revision Date: August 7, 2025**

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## 1.0 Executive Summary and Report Framework

RJ Planner has been retained by JD Empire Construction LTD. (the “Applicant”) to prepare a Planning Rationale Report (PRR) in support of an application for Zoning By-Law Amendment (the “ZBA”) for the lands located within the City of Windsor and identified as **3185, 3187, 3189 and 3191 McRobbie Road** (the “Subject Lands”). The Subject Lands are located within the Forest Glade Planning District.

The Applicant is requesting an amendment to the City of Windsor Zoning By-Law 8600 (the “Zoning By-law 8600”) for the Subject Lands for the following purpose:

- To re-zone the Subject Lands from “Residential District 1.1 (RD1.1)” to “Residential District 2.2 (RD2.2)” to permit two (2), two-storey *Semi-Detached Dwellings* (“*Semi*”) on each lot. Each Semi would contain one (1) Dwelling Unit on each side for a total of four (4) Dwelling Units over the two lots.

Site-specific lot and building regulations are also required to accommodate the following:

- A minimum lot width of 14.2m for a Semi-Detached Dwelling whereas 15.0m is the required minimum lot width in the RD2.2 Zone (subsection 11.2.5.1).
- A maximum garage width of 71% whereas 60% is the maximum garage width in any Residential District for a Dwelling under Zoning By-law 8600 (subsection 5.11.5).

Two (2) parking spaces are proposed for each *Dwelling Unit*. The development is exempt from Site Plan Control approval pursuant to subsection 41(1.2) of the *Planning Act* and City of Windsor By-law 1-2004.

The Applicant has completed a Stage 1 Planning Consultation dated March 27, 2025 and attached as **Appendix A**. The Applicant has also completed a Public Consultation Meeting on June 4, 2025. An Open House Report has been included under **Section 4.0** of this Report.

A PRR completed by a Registered Professional Planner (RPP) has been identified as a required support study for Stage 2 Planning Consultation. No other support studies or information, save and except the standard application requirements, are required for Stage 2 Planning Consultation.

This PRR has been completed in accordance with the City of Windsor's Terms of Reference for Planning Application Technical Studies (Planning Rationale Report) (the "TOR") attached as **Appendix B** to this Report.

This PRR will explain and justify the proposed rezoning/site-specific provisions and its compatibility with the surrounding area and includes the following components in accordance with the TOR:

- A clear description of the proposal together with appendices, maps and conceptual building elevations, floor plans, and site plan that help to provide the context of the location and approvals required;
- A description of the site's previous development approval history;
- A description of major physical features or attributes of the site including current land use(s) and surrounding land uses, built form and contextual considerations together with maps and appendices which assist with context;
- A professional opinion on:
  - How the proposal addresses relevant requirements of the Planning Act and its consistency with the Provincial Planning Statement (PPS, 2024);
  - Compliance with relevant Official Plan policies including both general policies and site-specific land use designations and policies;
  - How the proposal addresses the Community Strategic Plan and/or any applicable City adopted Design Guidelines;
  - The suitability of the site and reasons why the proposal is appropriate for this site and will function well to meet the needs of the intended future users;
  - Compliance and/or non-compliance with the Zoning By-law.
- An analysis of the compatibility of the design and massing of the proposed development and land use designations on properties in the vicinity;
- A summary of the questions, concerns and/or comments raised at the Open House together with a response that sufficiently addresses each item raised;
- An analysis and professional opinion as to why the proposal represents good planning, including details of any methods that are used to mitigate any potential undue, adverse impacts;

- A summary of the policy and planning analysis and the recommendations of other supporting studies required as part of the complete application and how they have informed the PRR;
- A comprehensive professional planning conclusion demonstrating how the proposal conforms to applicable planning policy documents and good planning principles;
- A draft Amendment and detailed concept plan applying all applicable policy and zoning regulations.

The following documents were **primary references** in undertaking the PRR:

- Provincial Planning Statement, 2024 (PPS, 2024)
- The City of Windsor Official Plan (Volumes I, II, III)
- The City of Windsor Intensification Guidelines (June 2022)
- Windsor's Community Strategic Plan (2007)
- The ALTUS Background Report (2022)
- The City of Windsor Zoning By-law 8600

The following plans and documents are submitted for review in support of the ZBA.

- Conceptual elevations, floor plans, and site plan prepared by Keen Design Studio and dated May 28, 2025.

It is the professional opinion of the undersigned that the proposed application for the ZBA has regard to matters of Provincial Interest as described under Section 2 of the Planning Act; is consistent with the Provincial Planning Statement (2024); and conforms with the City of Windsor Official Plan and good planning principles.

It is therefore the professional opinion of the undersigned that the ZBA, as outlined in this report, should be approved by the respective Planning Authority.

**I hereby certify that this plan/report was prepared by a Registered Professional Planner, within the meaning of the Ontario Professional Planners Institute Act, 1994.**

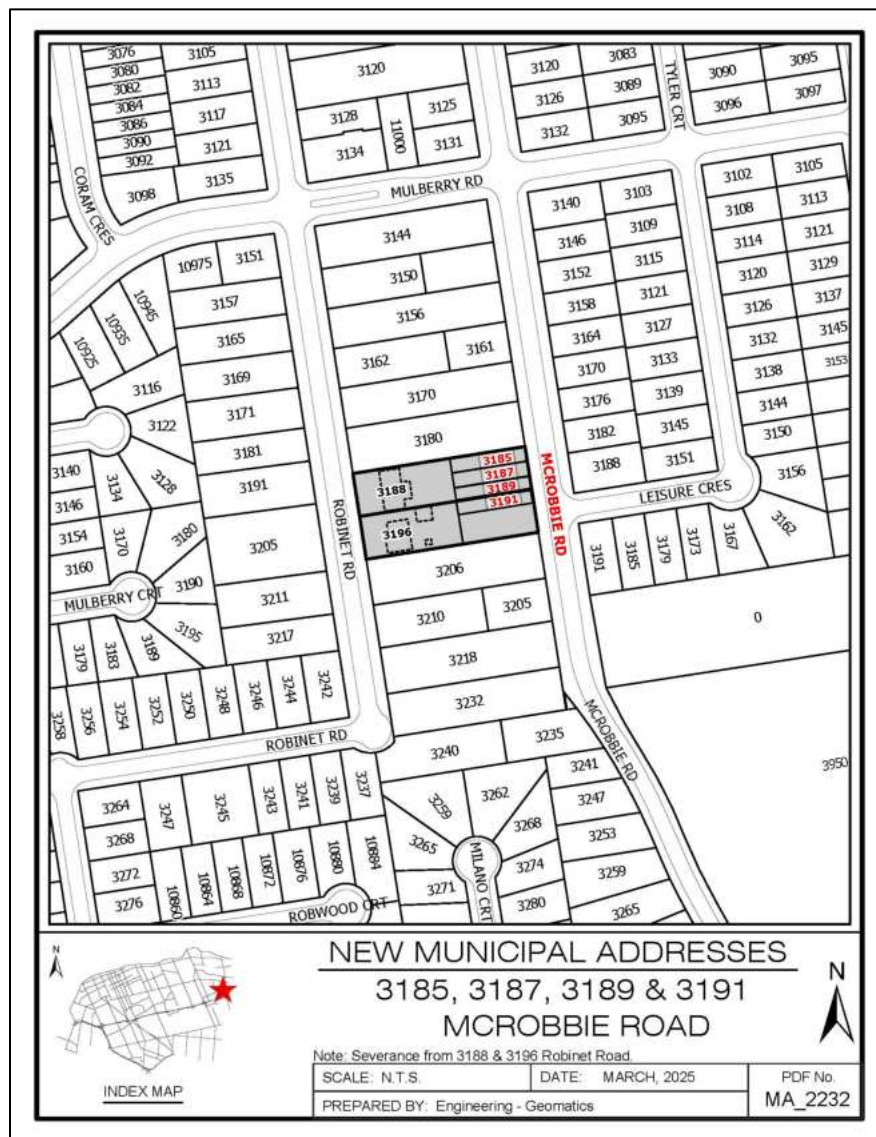
Respectfully Submitted,



Rita Jabbour, RPP, MCIP, MSc  
Registered Professional Planner

## 2.0 Introduction

This Planning Rationale Report (PRR) has been prepared for JD Empire Construction LTD. in support of an application for Zoning By-Law Amendment (ZBA) for the lands (herein referred to as the 'Subject Lands') legally described as **Part 2 and Parts 3 and 5 on 12R29955** and municipally known as **3185, 3187, 3189 and 3191 McRobbie Road**, and located within the Single Tier Municipality of the **City of Windsor**. **Figure 1** provides a location map of the Subject Lands:



**Figure 1.** Location of Subject Lands

## 2.1 Description of Proposal

The Applicant wishes to construct two (2), 2-storey Semi-Detached Dwellings for a total of four (4) Dwelling Units on the Subject Lands (Part 2 and Parts 3 and 5 on 12R29955). Two (2) parking spaces are proposed for each Dwelling Unit for a total of four (4) on-site parking spaces for each Semi-Detached Dwelling. One (1) parking space will be provided in an attached garage and one (1) parking space is available on the driveway for each unit.

A Semi-Detached Dwelling is defined under Zoning By-Law 8600 as one (1) Dwelling divided vertically into two (2) Dwelling Units by a common interior wall having a minimum area above ground grade of 10.0 sqm, and may include, where permitted by Section 5.99.80 of By-law 8600, up to two (2) additional dwelling units.

A Dwelling is defined under Zoning By-Law 8600 as a building or structure that is occupied for the purpose of human habitation.

A Dwelling Unit is defined under Zoning By-Law 8600 as a unit that consists of a self-contained set of rooms located in a building or structure, that is used or intended for use as residential premises, and that contains kitchen and bathroom facilities that are intended for the use of the unit only.

The proposed Semi-Detached Dwellings are illustrated in conceptual floor plans and building elevations attached to this report as **Appendix C**. A conceptual site plan is included as **Figure 2**.

Additional Dwelling Units (ADU) are not proposed for the Semi-Detached Dwellings.

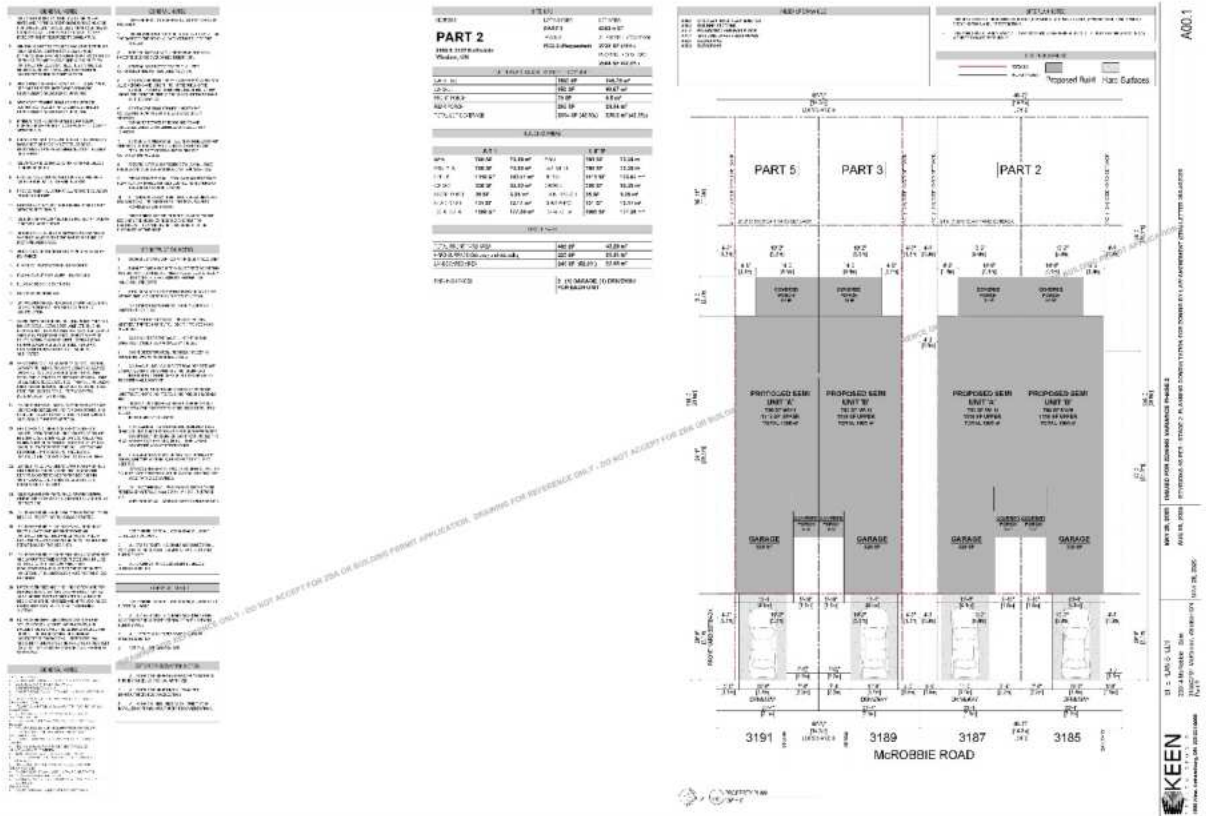
**Table 1** summarizes the proposed lot and building regulations for the Semi-Detached Dwellings.

**Table 1.**

Proposed Lot and Building Regulations for Semi-Detached Dwellings

Lot Width	Lot Area	Lot Coverage	Main Building Height	Front Yard Depth	Rear Yard Depth	Side Yard Width	Gross Floor Area (GFA)	Parking Space width
14.2m	562.32m <sup>2</sup>	42.3%	8.9 m to midpoint  10m to peak of roof	6.1m	11.3m	1.3m	354.52m <sup>2</sup> (177.26 m <sup>2</sup> for each unit)	3.4m x 6.1m  4.1m x 7.3m





**Figure 2. Conceptual Site Plan**

Each Dwelling Unit will include an unfinished basement; a dining room, kitchen, living room, and washroom on the main level; and, three (3) bedrooms, a bathroom, and laundry room on the upper level. Each dwelling unit will also include an attached covered deck. The Semi-Detached Dwellings will front on McRobbie Road. Access to the Dwellings will be from McRobbie Road through the installation of one (1) new driveway access for each unit.

The roof material will be shingles. The exterior cladding will include brick on the ground level and stucco on the upper level. Parking is proposed in the front yard.

The development is proposed as a form of *Residential Intensification (the development of a site at a higher density than currently exists) through Redevelopment (the creation of new units, uses on previously developed land in existing communities)*. The total density for each lot as proposed is **+35.56 units per Gross Hectare**.

## 2.2 Previous Development Approval History

The Subject Lands formed part of 3188 Robinet Road (formerly Lot 1 on Registered Plan 1597) and 3196 Robinet Road (formerly Lot 2 on Registered Plan 1597). Parts 2, 3 and 5 were created through consent (severance) through approval of the City of Windsor Committee of Adjustment on November 28, 2024 (File No. B-045/24 and B-046/24).

Part 2 on Plan 1597 was formed as a land conveyance of part of 3188 Robinet Road (PLAN 1597 Lot 1). Parts 3 and 5 on Plan 1597 were formed as a land conveyance of part of 3188 Robinet Road and 3196 Robinet Road (PLAN 1597 Lot 2). Parts 3 and 5 are combined to form one (1) lot.

Registered Plan 1597 is included as **Appendix D**.

The consents were made for the purpose of creating new residential lots that would front on McRobbie Road. The consents were made concurrently with applications for Minor Variance to permit a reduction in the minimum lot width for a Single Unit Dwelling from the required 15.0m to 14.2m for both lots (File No. A-068/24 and A-069/24).

An application for consent will be required in the future to subdivide the proposed Semi-Detached Dwelling Units.

## 2.3 Description of Subject Lands and Surrounding Land Uses

The Subject Lands are located within the Forest Glade Planning District on **Schedule ‘A’ –Planning Districts & Policy Areas** and are designated “Residential” on **Schedule ‘D’ –Land Use** of the City of Windsor Official Plan. The Subject Lands are **not** located within a Special Policy Area. The Subject Lands are designated “Residential District 1.1 (RD1.1)” on Zoning District Map 15 of Zoning By-Law 8600 permitting one (1) *Single Unit Dwelling* and uses accessory to the dwelling.

The Subject Lands consist of two (2) whole lots: Part 2 and Parts 3 and 5 on Registered Plan 1597 (Parts 3 and 5 have been combined to form one lot).

The Subject Lands are located on the west side of McRobbie Road, just west of the intersection of McRobbie Road and Leisure Crescent.

The Subject Lands are accessed from McRobbie Road. McRobbie Road is classified as a “Local Road”. Local Roads are designed to carry low volumes of traffic and may include cycling facilities, on-street parking, and direct property access with some controls.

Part 2 is presently vacant. Parts 3 and 5 contains a concrete pad and part of a chain link and board on board fence. Part 5 contains some trees and bushes within the property boundaries. No trees are present along the municipal right of way.

The lot dimensions of the Subject Lands are summarized in **Table 2**.

**Table 2 –Lot Dimensions of Subject Lands**

Part	Lot Width (m)	Lot depth (m)	Lot Area (m2)
2	14.21 m (46.64 ft)	39.62 m (130 ft)	520.55 m2 (6063 s2)
3 and 5	14.21 m (46.64 ft)	39.62m (130 ft)	520.55 m2 (6063 s2)

The Subject Lands have access to a municipally owned and operated piped water supply and municipally owned and operated sanitary and stormwater sewers on McRobbie Road. Part 2 has an existing sanitary sewer connection and will require a new connection for stormwater and water service. Parts 3 and 5 has two (2) separate stormwater connections (1 will be abandoned) and will require a new sanitary and water service connection. There is a fire hydrant directly south of the Subject Lands.

The Subject Lands are located within walking distance to Wildwood Park, a Day Care Centre (3900 Wildwood), commercial plazas (3335 and 3315 Banwell Road), and a grocery store (3235 Banwell Road).

The Subject Lands are serviced by existing sidewalks on the east side of McRobbie Road. The closest existing transit route is the Lauzon 10 and the closest existing bus stop is located at Wildwood Road at Ancona Southeast Corner. The bus stop is approximately 380m from the Subject Lands, falling within Transit Windsor’s 400 m walking distance guideline to a bus stop. A bus stop is proposed on Mulberry at Robinet Southwest Corner, approximately 260m from the Subject Lands, further reducing the walking distance to Transit Services.

### 2.3.1 Description of Surrounding Land Uses

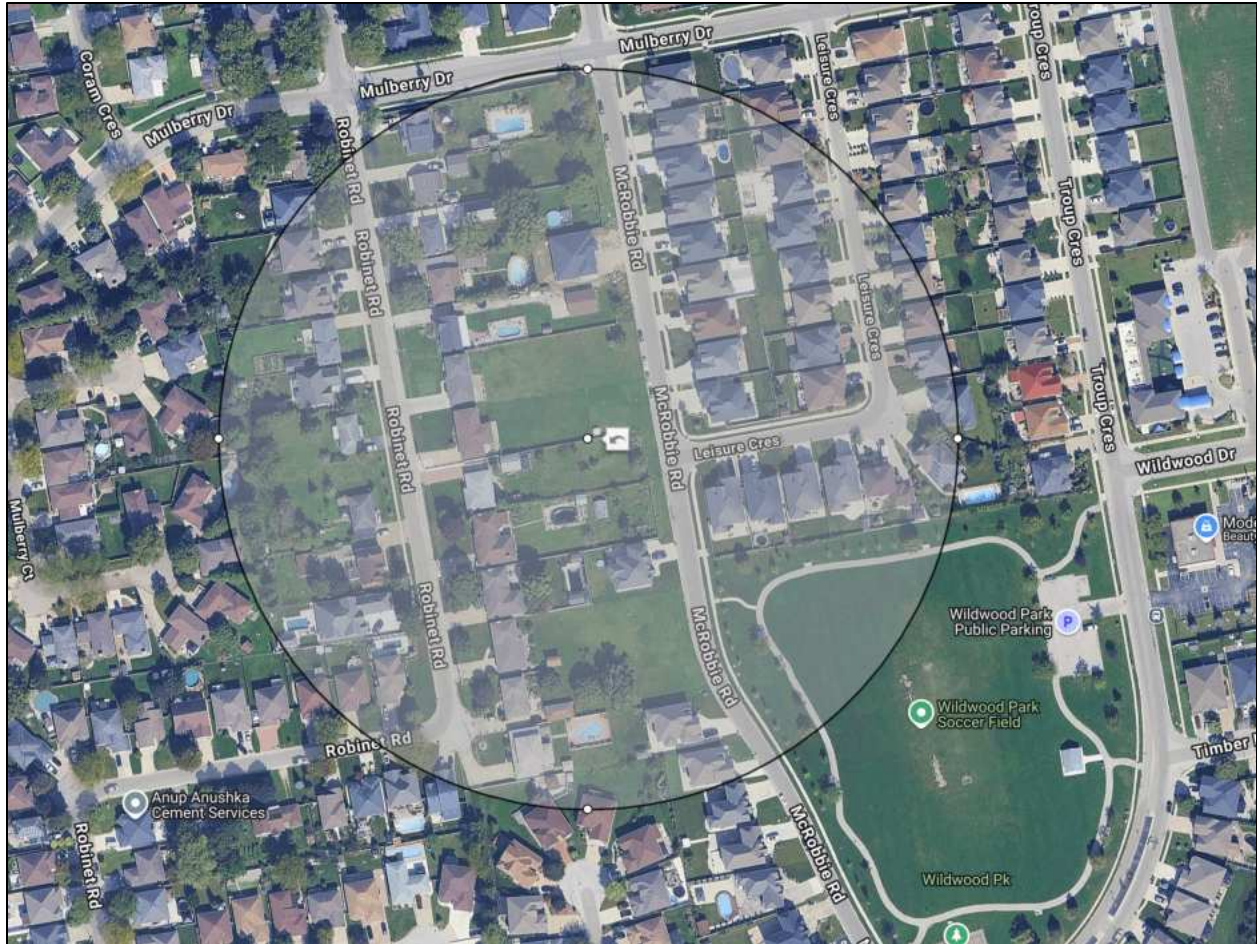
In accordance with the City of Windsor Intensification Guidelines (2022), within the neighbourhood context, the definition of vicinity should vary based on the scale of the development (p. 4). The proposed amendments are considered “minor redevelopment” as they do not require land assembly and existing development is replaced with new, intensified development. In this context, the Guidelines (2022) recommend that the vicinity include properties within 150m in all directions (p.4). When measured from the Subject Lands, this includes the properties on the east and west side of McRobbie Road, Leisure Crescent, and Robinet Road as depicted in **Figure 3**.

The development context surrounding the Subject Lands along the McRobbie Road, Leisure Crescent, and Robinet Road corridor is exclusively “Residential” in nature (RD1.1) consisting primarily of Single Unit Dwellings.

The lots along the east side of McRobbie Road and along Leisure Crescent are developed primarily for Single Unit Dwellings. The dwellings have a similar built form having a building height of 2.5 storeys with a basement, main level, and upper level; an attached garage (one and two car garage); and, brick façades. Driveways and garages are located in the front yard and dwellings are evenly spaced with a side yard setback of 1.2m and a front yard setback of 6m, representative of the applicable zoning district (RD1.1).

The lots along the west side of McRobbie Road are developed primarily for Single Unit Dwellings that front on Robinet Road. Few lots on the west side of McRobbie Road, from Mulberry to the intersection of Leisure Crescent, are developed with dwellings that directly front on McRobbie Road; they form part of the rear yard for those lots on Robinet Road.





**Figure 3.** 150m radius of Development within vicinity of Subject Lands

South of Leisure Crescent, McRobbie Road is developed for Single Unit Dwellings that have similar built form to those dwellings on the east side of McRobbie Road and Leisure Crescent (brick, 2.5 storeys, attached garage, driveway in front yard, 1.2m side yard setback, 6m front yard setback). There are building façades that consist of brick and stucco.

The lots along the east side of Robinet Road are “Through Lots” having street frontage on both Robinet Road and McRobbie Road. The dwellings front on Robinet Road.

The lots on the east and west side of Robinet Road are developed primarily for Single Unit Dwellings. The dwellings are 1 to 2 storeys and include a brick façade. Some dwellings include an attached garage and driveway access is primarily in the side yard. Spacing between the dwellings is more varied where there are no attached garages.

The neighbouring development context is further summarized in **Table 3**. The built form of the surrounding Residential Lands is represented in **Figures 4 to 7**.

**Table 3–Surrounding Land Uses**

<b>Relative Location</b>	<b>Existing Land Use</b>	<b>Official Plan Designation (City of Windsor Official Plan) (Map 15)</b>	<b>Zone (Zoning By-law 8600) (Map 15)</b>
East Side of McRobbie	Residential Uses (Single Detached Dwellings)	Residential	Residential District 1.1 Zone (RD1.1)
West Side of McRobbie	Residential Uses (Single Detached Dwellings)	Residential	Residential District 1.1 Zone (RD1.1)
Leisure Crescent	Residential Uses (Single Detached Dwellings)	Residential	Residential District 1.1 Zone (RD1.1)
East and West Side of Robinet Road	Residential Uses (Single Detached Dwellings)	Residential	Residential District 1.1 Zone (RD1.1)



**Figures 4.** Subject Lands



**Figures 5.** Built form of Surrounding Lands (McRobbie)





**Figures 6.** Built form of Surrounding Lands (Leisure Crescent)



**Figures 7.** Built form of Surrounding Lands (Robinet Road)



### 3.0 Compatibility of Design

In accordance with the City of Windsor’s Intensification Guidelines (2022), one of the most important challenges for decision makers is to establish an approach to development approval that ensures that change is understood on the basis of “Compatible Development” because all communities evolve over time (p. 3).

“Compatible Development” is defined in the Guidelines (2022) to mean the following:

***Development that may not necessarily be the same or similar to the existing buildings in the vicinity, but, nonetheless, enhances an established community and coexists with existing development without causing any undue adverse impact on surrounding properties (p. 3).***

The definition for “compatible development” needs to be clearly understood and applied in different ways and in different contexts throughout the city because it is an overarching principle of good planning that is applicable throughout the city (p. 3). The Guidelines (2022) further define key phrases that are raised from the definition of “Compatible Development”. They are applied and summarized in the context of the Subject Lands and the proposed ZBA below:

Key Phrases	Analysis
Development in the Vicinity	<p>The definition of vicinity should vary by the scale of development.</p> <p>There are two key scales of development/redevelopment that must be considered. Minor redevelopment, where land assembly is not necessarily required, but existing dwellings are demolished and replaced by new intensified development, is most appropriate in this context. Thus, the vicinity should include properties within 150 metres in all directions.</p> <p>This vicinity could be reduced further if the anticipated impacts are considered to be more immediate - within a few properties on either side and across the street of a proposal.</p> <p><b>As depicted in Figure 3 of this report, when measured from the Subject Lands, 150m includes the properties on the east and west</b></p>

	<p>side of McRobbie Road, Leisure Crescent, and Robinet Road. However, since the development will be located on McRobbie Road, and since the dwellings on McRobbie Road and Leisure Crescent are relatively similar in built form and architectural style, it is more appropriate to reduce the vicinity to the east and west side of McRobbie Road and Leisure Crescent.</p>
Enhance an established community	<p>In order to pass this test, the nature and character of the defined vicinity needs to be considered and clearly articulated. Clear statements about those attributes that define the character of that vicinity are required to assist in the determination of what form of building can “enhance” that character, and what form of building may be “detrimental”. Further, community investment is an important factor to consider where new and significant investment within a neighbourhood may be both necessary and desirable.</p> <p><b>The development context surrounding the Subject Lands along the McRobbie Road and Leisure Crescent corridor is exclusively “Residential” in nature (RD1.1) consisting primarily of Single Unit Dwellings.</b></p> <p><b>The dwellings have a similar built form having a building height of 2.5 storeys (basement, main level, and upper level); an attached garage (one and two car garage); and, brick façades. Driveways are located in the front yard and dwellings are evenly spaced with a side yard setback of 1.2m and a front yard setback of 6m, representative of the applicable zoning district (RD1.1).</b></p> <p><b>Few lots on the west side of McRobbie Road, from Mulberry to the intersection of Leisure Crescent, are developed with dwellings that directly front on McRobbie Road (they form part of the rear yard for those lots on Robinet Road).</b></p>

	<p><b>South of Leisure Crescent, McRobbie Road is developed for Single Unit Dwellings that are similar in-built form to those dwellings on the east side of McRobbie Road and Leisure Crescent (brick, 2.5 storeys, attached garage, driveway in front yard, 1.2m side yard setback and 6m front yard setback). The building façades consists of brick and stucco.</b></p>
Coexistence without undue, adverse impact on surrounding properties	<p>This is quite an onerous test, usually related to easily identifiable/quantifiable impacts like shadow, privacy, traffic, and parking problems. In some instances, the concept of “visual impact” may be established as an important development review criterion. Visual impact analysis will need to be tied to the attributes that define the area’s character, either on a community-wide or defined vicinity basis.</p> <p><b>Based on the characteristics of the development in the vicinity, and the issues raised at the Open House and through community engagement, the adverse impacts on surrounding properties can be identified as mainly “visual” (tied to the building form of neighbouring dwellings) and to a more minor extent, related to parking.</b></p>
<b>Summary</b>	<p>It is the professional opinion of the author, that the proposed development is compatible development. Although the proposed development is not the same housing option as the existing dwellings in the vicinity it nonetheless enhances the established community by providing for a use that is similar in nature to the surrounding land uses (residential), similar massing (2.5 storey with basement, main level and upper level), parking pattern (front yard and attached garage), and utilizes similar architectural and building features (pitched roof, stucco and brick façade, shingle roof).</p>

	The development further enhances the community by providing for additional on-site parking spaces to avoid on-street parking. Based on these items, the development can coexist without undue, adverse impacts on the surrounding properties.
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### 3.1 City of Windsor Intensification Guidelines

The intent for development within Windsor's Stable and Mature Neighbourhoods according to the City's Intensification Guidelines (2022) is to maintain the Low Profile built form character of the area and ensure a sensitive integration of new development (p. 9).

Low Profile development in the Stable Neighbourhoods includes Semi-Detached dwellings that are generally no greater than three (3) storeys in height. The proposed development further ensures a consistent neighbourhood feel by implementing the following:

- Maintaining a front yard setback which is consistent with the setbacks along McRobbie and Leisure Crescent (6m).
- Maintaining a side yard setback that reflects those of adjacent homes (1.3m).
- Providing a rear yard setback (11.3m) that is greater than the required minimum rear yard setback for lots within the neighbourhood (7.5m) to ensure privacy. The development also proposes the location of attached porches within the building envelope to further protect privacy.
- Locating the attached garage and driveway in the front yard consistent with the garage placement and parking patterns of the neighbourhood. It is recognized that front yard parking is not encouraged under Chapter 8 of the City of Windsor Official Plan, however, front yard parking is characteristic of the neighbourhood. Rather than coupling the garages, the proposed garages are located more towards the side of the dwelling units to assist with the enhancement of the front yard. Further, existing servicing connections would interfere with garage placement if they were coupled.
- Using high quality and consistent brick and stucco material that reflect and complement the existing materials in the area.

- Ensuring material changes occur at transition points.
- Providing for similar roof lines, building shape (rectangular), building height, and first floor height.

The garage doors will occupy more than 50% of the dwelling's width to ensure adequate parking space within the garage which is flanked by a wall. The proponent has proposed a habitable room over the garage to reduce the dominance of the garage doors in line with section 2.2.3. 8 (b) of the Guidelines (2022, p.10).

To further align with the Intensification Guidelines (2022), if feasible, the proponent may also choose to do the following:

- reduce the width of the garage to 3.5m (the minimum parking space width under the Zoning By-law), and/or,
- push up the front entrance by extending the dwelling to the minimum required rear yard (7.5m) to provide for less garage protrusion.

It is acknowledged that the extra width for the garage is required to ensure the garage functions as a parking space to alleviate parking concerns, and, the expanded rear yard provides for more privacy measures, therefore, a reduction in garage width and/or reduction in rear yard depth, may not be desirable.

#### 4.0 Open House Report

An in-person Open House was hosted by the Applicant on Wednesday June 4, 2025 at the Forest Glade Community Centre (3215 Forest Glade Drive) from 5:00pm to 6:00pm. The Forest Glade Community Centre is located approximately 1.5km from the Subject Lands and meets the requirements of the Accessibility for Ontarians with Disabilities Act. In addition, a virtual Open House was enabled.

The purpose of the Open House was to provide an opportunity for the Applicant and Agent to consult with citizens who may be impacted by the proposed Zoning By-law Amendment (ZBA). All area residents within a 200-metre radius were notified through mail delivery of the Open House. A notice was also sent by email to the ward Councillor, Angelo Marignani, and to members of the Caldwell and Walpole Island First Nation Community. A copy of the notice is attached as **Appendix E**.

Nine (9) people attended the Open House in person, including the ward Councillor. The municipal Planner assigned to the file, Diana Radulescu, was also in attendance virtually.

The Applicant and their Agent, RJ Planner, were present for comments. Display boards which provide the primary details of the application, together with copies of the site plan, floor plans, and building elevations were made available. A formal presentation was prepared for the Open House. The display boards are attached as **Appendix F**.

A summary of the issues raised at the Open House and responses provided is included in **Table 4**.

As a result of circulation of the Notice, fifteen (15) comments were received. The concerns raised in the written comments were similar to those raised at the Open House.

**Table 4–**  
Summary of Issues Raised at Open House

Issue	Response
Concerns with the Development's impact on property values	<p>There are many factors which influence property value including location, the age of the home and the value of the homes in the vicinity. A development's impact on property value is not a consideration in land use planning; rather, a development's compatibility with adjacent land uses is.</p> <p>The proposed dwellings are for residential purposes, similar to all uses in the area. The dwellings will be new builds and will incorporate similar building materials in their design.</p>
Concerns with the Development's impact on neighbourhood character	<p>Character means the collective qualities and characteristics that distinguish a particular area or neighbourhood and is</p>

	<p>defined generally by architecture, lot size and frontage, setbacks, streets, street trees and landscaping, parking.</p> <p>High quality building materials that match the material used in neighbouring dwellings (stucco and brick), similar building height, garage and driveway placement, building siting, and lot pattern will be used in the development to ensure the character of the neighbourhood is maintained.</p>
Concerns with inconsistency with building materials/maintenance due to joint nature of units	<p>The proposed dwellings will be constructed with similar building materials for each unit. However, to mitigate concerns with future maintenance that is inconsistent with the adjoining unit, the Applicant has proposed to register restrictive covenants on the dwellings to ensure similar building material is used for both units when maintenance on the roof or cladding or driveway is required in the future.</p>
Concerns that units will be rented	<p>Zoning By-law Amendments cannot regulate by ownership type. All housing options, which includes housing arrangements, is required to be permitted under the Provincial Planning Statement (PPS), 2024.</p>
Concerns with drainage and the adequacy of the existing infrastructure system	<p>The proponents will be responsible for containing their own stormwater runoff and cannot, under the City's Property</p>

	<p>Standards by-law, adversely affect neighbouring property owners.</p> <p>Drainage measures will be considered at the building permit stage.</p> <p>The proposed dwellings will not exceed the maximum standards which are similar for the adjacent Single Unit Dwellings.</p> <p>Available municipal infrastructure (storm, water, sanitary) is available at the McRobbie Road street frontage.</p> <p>Enwin Utilities, hydro engineering and water engineering, had no concerns with the proposed development. The City of Windsor Engineering Department requested no further supporting information for the proposal.</p>
Concerns with parking	<p>The proposed development will exceed the minimum required number of on-site parking per dwelling unit. The required number is one (1) whereas two (2) are proposed per unit.</p>
Concerns with the potential for Additional Dwelling Units (ADUs)	<p>The development does not propose ADUs. The main level is not designed as a separate housekeeping unit. Therefore, the main and second level must operate as one (1) housekeeping unit.</p>

## 5.0 Summary of Proposed Amendments

A Zoning By-Law Amendment (ZBA) is required for Part 2 and Parts 3 and 5 on Registered Plan 1597 to redesignate the lands from 'Residential District 1.1 (RD1.1)' Zone to 'Residential District 2.2 (RD2.2)' Zone to permit *Semi-Detached Dwellings*



because *Semi-Detached Dwellings* are not a permitted use under the RD1.1 Zone. The following site-specific regulations are also required to accommodate the use:

- A minimum lot width of 14.2m for a Semi-Detached Dwelling whereas 15.0m is the minimum lot width for a Semi-Detached Dwelling in the RD2.2 Zone (subsection 11.2.5.1).
- A maximum garage width of 71% whereas 60% is the maximum garage width under Zoning By-law 8600 for a Dwelling in all Residential Districts (subsection 5.11.5).

An overview of the proposed amendments is provided in **Section 7.0** of this report.

## 6.0 Planning Analysis

In carrying out their responsibilities under the *Planning Act*, the Council must have regard to the matters of provincial interest listed under Section 2 of the Planning Act, and, their decisions- in respect of the exercise of any authority that affects a Planning matter- must be consistent with Policy Statements that are in effect on the date of the decision and conform with the provincial plans that are in effect on that date, in accordance with subsection 3 (5) of the Planning Act. Similarly, comments, submissions or advice that affect a planning matter that are provided by the council of a municipality [...] commission or agency of the government “shall be consistent with” the Provincial Planning Statement. The Provincial Planning Statement, 2024 (PPS, 2024) is issued under Section 3 of the Planning Act.

Within Planning legislation, “consistency” is applied to mean that the ZBA is not contradictory or vary from provincial planning policies contained within PPS, 2024. The ZBA must be clearly in agreement with PPS, 2024. To assist in the determination of consistency, Chapter 1 of PPS (2024) (p.3) provides direction on how to consider specific policy language. Some policies set out positive directives through the use of words such as “shall be”. Other policies set out limitations and prohibitions through the use of words such as “shall not”. Other policies use enabling or supportive language such as “should”, “promote”, and “encourage”. Where specific language is used in a policy referenced in this Analysis, it has been intentionally **bolded** if it is a directive and underlined if it is

enabling or supporting, to assist in understanding how the proposal is consistent with the PPS (2024).

A decision of the Council must also conform with applicable policies contained in the Official Plan for the City of Windsor. Within Planning Legislation, “Conformity” is applied to mean that the proposal must be similar in form to and be in harmony with the policies of the City Official Plan, such that it exists in compliant fashion with the higher order Official Plan policies that prevail above it. The policies of the Provincial Planning Statement, 2024 continue to apply after adoption and approval of an official plan. For a ZBA to “conform”, it need not be absolute or identical in its adherence to the Official Plan policies, but it can neither be selective and conform to only some and ignore other aspects of the Plan’s policies.

This Section outlines in detail how the proposed ZBA has regard to matters of Provincial Interest, is consistent with PPS, 2024, and, conforms with the City Official Plan. No provincial plan or plans are applicable to this development; therefore, the Planning Analysis has not been applied to any provincial plan(s).

6.1 Planning Act

Section 2 of the Planning Act identifies matters of Provincial Interest that a Planning Authority must have regard to when carrying out its responsibilities under the *Planning Act*. An analysis detailing how the proposal has regard to relevant matters of provincial interest is provided in **Table 5–Matters of Provincial Interest**.

**TABLE 5-**

**MATTERS OF PROVINCIAL INTEREST**

<b>Matter of Provincial Interest</b>	<b>Analysis</b>
<i>The protection of ecological systems, including natural areas, features and functions;</i>	The Subject Lands do not contain or are adjacent to lands with significant natural areas, features and functions.
<i>The protection of the agricultural resources of the Province;</i>	The lands are not used or designated for agricultural purposes. The Subject Lands are located within an urban settlement area.

<i>The conservation and management of natural resources and the mineral resource base;</i>	The Subject Lands do not contain any natural resources or mineral resource base.
<i>The conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;</i>	The Subject Lands are not located within an area of archaeological potential and are not listed or designated on the Municipal Heritage Register.
<i>The supply, efficient use and conservation of energy and water;</i>	The Subject Lands have access to a municipal water system along the McRobbie right of way.
<i>The adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems;</i>	<p>The Subject Lands are serviced by an existing sanitary sewer and stormwater system on McRobbie Road.</p> <p>The Subject Lands are serviced by hydro power and weekly waste disposal pick ups.</p> <p>The Subject Lands are located on a Local Road which connects residential development to a neighbouring Arterial Road (Banwell) and expressway (EC ROW).</p> <p>The proposed development will efficiently use the existing and future planned public transit system along Wildwood Road and Mulberry at Robinet Southwest corner by facilitating the addition of more residents in the area.</p>
<i>The orderly development of safe and healthy communities;</i>	<p>The proposed development is located within an Urban Settlement Area and within an area designated for residential development.</p> <p>The proposed development will have similar building regulations respecting front, rear, and side yard setbacks to adjacent dwellings ensuring safe ingress and egress to the lots.</p>

<i>The accessibility for persons with disabilities to all facilities, services and matters to which the Planning Act applies;</i>	Not applicable.
<i>The adequate provision of a full range of housing and, including affordable housing;</i>	The neighbourhood context is developed exclusively for Single Unit Dwellings. The proposed amendments will add an additional housing form (Semi-Detached Dwellings) to the neighbourhood.
<i>The adequate provision of employment opportunities;</i>	Not applicable.
<i>The resolution of planning conflicts involving public and private interests;</i>	The development has been designed to mitigate visual impacts on adjacent lands as a result of the built form. Specifically, the building has been designed to be consistent with building regulations respecting height, front, rear, and side yard setbacks of the adjacent dwellings. The Dwellings will also use similar exterior building material to those dwellings within the vicinity (brick and stucco, shingles) and have similar roof lines and parking patterns (front yard parking).
<i>The protection of public health and safety;</i>	The Subject Lands are not located within an area of Natural Hazard.
<i>The appropriate location of growth and development;</i>	The Subject Lands are not located within an area of development constraint.
<i>The promotion of development that is designed to be sustainable, to support public transit and to be oriented to pedestrians</i>	The proposed development is adjacent to sidewalks and public transit networks. The proposed development is within walking distance to child care centres, commercial plazas, parks, and grocery stores.

<i>The mitigation of greenhouse gas emissions and adaptation to a changing climate.</i>	The development is a form of residential intensification which makes more efficient use of underdeveloped lands and existing infrastructure which further mitigates the impact of greenhouse gas emissions.
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6.2 Provincial Planning Statement, 2024 (PPS, 2024)

The Provincial Planning Statement (PPS, 2024) provides policy direction on matters of provincial interest related to land use planning and development. It is a key part of Ontario’s policy-led planning system. Consequently, it sets the policy foundation for regulating the development and use of land province-wide, helping to achieve provincial goals and enhancing the quality of life for all Ontarians (p. 2).

6.2.1 Housing

Section 2.2 of the PPS, 2024 provides for the following policies relevant to the proposed ZBA:

**Policy**

- 2.2.1) *Planning Authorities shall provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by:*
- a) *Permitting and facilitating:*
    - 1. *All types of residential intensification, including the development and redevelopment of underutilized commercial sites for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units.*
  - b) *Promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation.*

**Analysis**

Altus Group Economic Consulting prepared a Multi-Residential Interim Control By-Law Study in 2022 for the City of Windsor to undertake research into determining the appropriate locations for the accommodation of additional residential density in the city. The Report (2022) provided demographic and economic analysis on the factors driving

intensification and infill demand in the City to inform planning recommendations for necessary changes to the City's Official Plan and Zoning By-Law to achieve the goal of intensification in existing built-up areas (p. 1).

The Report (2022) estimates that the City will see an increase in housing demand in the next 20 years with total net housing demand for single and semi-detached units forecasted to be 5, 432 (p. iii).

Despite an increase in demand, the Report (2022) finds that the amount of new housing constructed in the city has not increased substantially (p. 42). According to the Report, the City has seen a significant decline in jobs within the City, likely owing to the relative lack of new housing production (p. 43). The Report concludes that adding more housing options in the City of all types can help reduce the need for in-commuters to fill jobs and make the City more attractive to employers (p. 43).

In order to meet the housing demand forecast, the City should ensure more sufficient land is designated and available for development to act as a contingency factor and to ensure there is adequate choice in possible development sites for the entirety of the forecast period (p.43).

The proposed ZBA, therefore, provides for an appropriate housing option (semi-detached dwelling) to meet the needs of current and future residents of the regional market area through *redevelopment* (the creation of new units and uses on previously developed land in existing communities) (PPS, 2024, p. 50). Redevelopment is a form of intensification.

The Subject Lands are located in an area that consists entirely of Single Unit Dwellings. The proposed ZBA introduces a new housing option to the area and will result in a net increase in residential units.

The ZBA proposes a density (+35 units per gross hectare) which is appropriate for the area's planned infrastructure which is developed for low to medium density. The proposed use will efficiently use land that has access to a municipal local road and services and is within walking distance to transit services, parks and population related commercial services.

## 6.2.2 General Policies for Settlement Areas

Section 2.3.1 of the PPS, 2024 provides for the following policies relevant to the proposed ZBA:

### **Policy**

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2.3.1.1) Settlement areas **shall** be the focus of growth and development.

2.3.1.2) Land use patterns within settlement areas should be based on densities and a mix of land uses which:

- a) efficiently use land and resources;
- b) optimize existing and planned infrastructure and public service facilities;
- c) support active transportation.

2.3.1.3) Planning authorities **shall** support general intensification and redevelopment to support the achievement of complete communities, including by planning for a range and mix of housing options.

2.3.1.4) Planning authorities **shall** establish and implement minimum targets for intensification and redevelopment within built-up areas, based on local conditions.

### **Analysis**

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The City of Windsor is a Settlement Area within the definition of the PPS (2024, p.51).

Development includes a change of land use (PPS, 2024, p.42). Therefore, the ZBA proposes development (a change of land use) in a settlement area, consistent with the PPS (2024).

The proposed ZBA is a form of intensification through redevelopment. Complete communities are defined in the PPS (2024) as areas within cities and settlement areas that offer and support opportunities for equitable access to many necessities for daily living for people of all ages and abilities including a full range of housing (p. 41).

The proposed ZBA supports the achievement of complete communities by offering a new housing option (semi-detached) in an area that is limited in its access to a variety of housing options.

The proposed ZBA provides for a density of **+35.56 units per Gross Hectare** which is within the density range for Windsor's neighbourhoods under section 3.3.3 of the City of Windsor Official Plan.

## Summary

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Based on the foregoing analysis, it is my professional opinion that the ZBA is consistent with the Provincial Planning Statement (PPS, 2024).

### 6.3 City of Windsor Official Plan

The Provincial Planning Statement (PPS, 2024) states that the official plan is the most important vehicle for implementation of the PPS, 2024 and for achieving comprehensive, integrated and long-term planning (p. 2). As such, the purpose of the City of Windsor Official Plan is to provide guidance for the physical development of the municipality over a 20-year period while taking into consideration important social, economic and environmental matters such as where new development can locate and how existing and future neighbourhoods may be strengthened (section 1.2).

#### 6.3.1 Development Strategy

Section 3 of the City Official Plan provides for the following policies relevant to the proposed ZBA:

### Policy

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- 3.2.1.2 *Encouraging a range of housing types will ensure that people have an opportunity to live in their neighbourhoods as they pass through the various stages of their lives. Residents will have a voice in how this new housing fits within their neighbourhood. As the city grows, more housing opportunities will mean less sprawl onto agricultural and natural lands.*
- 3.2.1.3 *Windsor will keep much of what gives its existing neighbourhoods their character – trees and greenery, heritage structures and spaces, distinctive area identities, parks, and generally low-profile development outside the City Centre. Around the neighbourhood centres, the existing character of the neighbourhood will be retained and enhanced. Newly developing areas will be planned to foster their own unique neighbourhood identities with a mixture of homes, amenities and services.*
- 3.3.3 *Neighbourhoods are the most basic component of Windsor’s urban structure and occupy the greatest proportion of the City. Neighbourhoods are stable, low-to-medium-density residential areas and are comprised of local streets, parks, open spaces, schools, minor institutions and neighbourhood and convenience scale retail services. The three dominant types of dwellings in Windsor’s neighbourhoods are single detached, semi-detached and townhouses. The density range for Windsor’s neighbourhoods is between 20 to 35 units per net hectare. This density range provides for low and some medium-density intensification to occur in existing neighbourhoods. Multiple dwelling buildings with medium and*



*high-densities are encouraged at nodes identified in the Urban Structure Plan.*

## **Analysis**

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The proposed ZBA encourages a range of housing type to allow more diversity in the neighbourhood and further reducing urban sprawl.

The proposed ZBA will maintain the neighbourhood character by proposing Semi-Detached Dwellings (a form of low-profile housing, similar to Single Unit Dwellings as per section 6.3.2.3 of the City of Windsor Official Plan). The proposed Semis will maintain the characteristics of the neighbourhood by maintaining similar front, rear, and side yard setbacks; building massing; and, exterior building materials.

The proposed ZBA provides for a density of **+35.56 units per Gross Hectare** which s within the density range for Windsor's neighbourhoods under section 3.3.3 of the City of Windsor Official Plan.

### **6.3.2 Healthy Community**

Section 4 of the City Official Plan provides for the following policies relevant to the proposed ZBA:

## **Policy**

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**4.2.1.5** *To encourage a mix of housing types and services to allow people to remain in their neighbourhoods as they age.*

**4.2.3.4** *To accommodate the appropriate range and mix of housing.*

## **Analysis**

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The proposed ZBA encourages a mix of housing type in an area dominated by a Single Unit Dwellings and will accommodate semi-detached dwellings which has been identified as an appropriate range of housing to accommodate Windsor's future growth in the Altus Report (2022).

### **6.3.3 Land Use**

Section 6 of the City of Windsor's Official Plan provides for the following policies relevant to the proposed ZBA:

## **Policy**

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### **6.1 Goals**

**6.1.1** *Safe, caring and diverse neighbourhoods.*

- 6.1.3            *Housing suited to the needs of Windsor's residents.*
- 6.1.14          *To direct residential intensification to those areas of the City where transportation, municipal services, community facilities and goods and services are readily available.*

### 6.3    *Residential*

*The lands designated as "Residential" on Schedule D: Land Use provide the main locations for housing in Windsor outside of the City Centre Planning District. In order to develop safe, caring and diverse neighbourhoods, opportunities for a broad range of housing types and complementary services and amenities are provided. The following objectives and policies establish the framework for development decisions in Residential areas.*

#### 6.3.1    *Objectives*

- 6.3.1.1          *To support a complementary range of housing forms and tenures in all neighbourhoods.*
- 6.3.1.3          *To promote residential redevelopment, infill and intensification initiatives in locations in accordance with this plan.*

#### 6.3.2    *Policies*

- 6.3.2.1          Uses permitted in the Residential land use designation identified on Schedule D: Land Use include Low Profile, and Medium Profile dwelling units.
- 6.3.2.3          For the purposes of this Plan, Low Profile housing development is further classified as follows:
  - (a) small scale forms: single detached, semi-detached, duplex and row and multiplexes with up to 8 units;
- 6.3.2.5          At the time of submission, the proponent shall demonstrate to the satisfaction of the Municipality that a proposed residential development within an area having a Neighbourhood development pattern is:
  - (a) feasible having regard to the other provisions of this Plan, provincial legislation, policies and appropriate guidelines and support studies for uses:
    - (i) within or adjacent to any area identified on Schedule C: Development Constraint Areas and described in the Environment chapter of this Plan;
    - (ii) adjacent to sources of nuisance, such as noise, odour, vibration and dust;

- (iii) within a site of potential or known contamination;
- (iv) where traffic generation and distribution is a provincial or municipal concern; and
- (v) adjacent to heritage resources.

(b) in keeping with the goals, objectives and policies of any secondary plan or guideline plan affecting the surrounding area;

*(c) In existing neighbourhoods, compatible with the surrounding area in terms of scale, massing, height, siting, orientation, setbacks, parking and amenity areas.*

*(d) provided with adequate off-street parking;*

*(e) capable of being provided with full municipal physical services and emergency services; and*

*(f) Facilitation a gradual transition from Low Profile residential development to Medium and/or High Profile development and vice versa, where appropriate, in accordance with Design Guidelines approved by Council.*

6.3.2.15 *Council shall encourage the provision of a variety of housing tenures which recognize the diverse needs of Windsor's residents.*

## **Analysis**

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The ZBA promotes a low profile residential development which is complementary in built form and tenure to the existing neighbourhood.

The proposed ZBA is feasible because it is not located within an area of development constraint; it is adjacent to similar land uses therefore it is not located adjacent to sources of noise, odour, dust or vibration; it is not located within a site of potential or known contamination; traffic generation is not a municipal concern in the area; and, the development is not located adjacent to Heritage resources.

The Subject Lands are not located within a Secondary Plan or Special Policy Area.

The proposed development is compatible with the surrounding area in terms of scale, massing, height, siting, orientation, setbacks, parking and amenity areas as demonstrated in this Report.

Adequate off-street parking which exceeds the minimum per unit in the Zoning By-Law is provided.

The proposed development has access to full municipal services at the street frontage and access to a local road for emergency services.

#### 6.3.4 Infrastructure

Section 7 of the City of Windsor Official Plan provides for the following policies relevant to the proposed ZBA:

### Policy

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#### 7.1 Goals

*In keeping with the Strategic Directions, Council's infrastructure goals are to achieve:*

*7.1.2 Optimal use of existing infrastructure.*

#### 7.2 Transportation System

##### 7.2.1 Objectives

*7.2.1.2 To make efficient use of the existing and planned transportation infrastructure.*

*7.2.1.5 To promote a land use pattern, density and mix of uses that reduces vehicle trips and supports alternative transportation modes including public transit.*

*7.2.1.6 To integrate land use and transportation considerations at all stages of the planning process.*

#### 7.3 Infrastructure

##### 7.3.1 Objectives

*7.3.1.3 To maximize and optimize the use of existing infrastructure and corridors prior to the extension and creation of new ones.*

##### 7.3.2 General Policies

*7.3.2.3 Council shall require all new developments to have full municipal infrastructure available, or agreements in place to provide such infrastructure, as a condition of approving a development proposal.*

##### 7.3.3 Infrastructure Provision Policies

*7.3.3.1 Council shall encourage the development of existing serviced, underutilized or undeveloped lands within Windsor prior to the extension of municipally owned and/or operated infrastructure to vacant areas within Windsor.*

### Analysis

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The proposed ZBA optimizes and efficiently uses the servicing that is available on McRobbie Road because there is few developments on the west side of McRobbie Road and because the development is proposed as intensification.

The development does not trigger the need for any extension of services or creation of new ones.

The development makes efficient use of the planned transit services in the area by adding more population to the transit line.

The Subject Lands are serviceable, underutilized and undeveloped. Therefore, their development is encouraged.

#### 6.3.5 Urban Design

Section 8 of the City of Windsor Official Plan provides for the following policies relevant to the proposed ZBA:

### Policy

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- 8.2.2.7** *Council will ensure that a proposed development or infrastructure undertaking enhances the image of Windsor, its districts and/or its neighbourhoods by complementing and contributing to:*
- (a) the activity of the area together with the character, scale, appearance and design features of existing buildings*
  - (b) the landmarks in the area;*
  - (c) the consistency and continuity of the area with its surroundings;*
  - (d) the edges of the area; and*
  - (e) linkages within, to and from the area*
  - (f) sustainable design and maintenance.*
- 8.7 Built Form**
- 8.7.1 Objectives**
- 8.7.1.2** *To achieve a complementary design relationship between new and existing development, while accommodating an evolution of urban design styles.*
  - 8.7.1.5** *To enhance the unique character of a district, neighbourhood, prominent building or grouping of buildings.*
  - 8.7.1.7** *To achieve external building designs that reflect high standards of character, appearance, design and sustainable design features.*
- 8.7.2 Policies**
- 8.7.2.1** *Council will ensure that the design of new development:*
    - (a) is complementary to adjacent development in terms of its overall massing, orientation, setback and exterior design, particularly character, scale and appearance;*

*(b) provides links with pedestrian, cycle, public transportation and road networks; and*

*(c) maintains and enhances valued heritage resources and natural area features and functions.*

*(d) Encourages the creation of attractive residential streetscapes through architectural design that reduces the visual dominance of front drive garages, consideration of rear lanes where appropriate, planting of street trees and incorporation of pedestrian scale amenities.*

**8.7.2.3** *Council will ensure that proposed development within an established neighbourhood is designed to function as an integral and complementary part of that area's existing development pattern by having regard for:*

*(a) massing;*

*(b) building height;*

*(c) architectural proportion;*

*(d) volumes of defined space;*

*(e) lot size;*

*(f) position relative to the road; and*

*(g) building area to site area ratios.*

*(h) the pattern, scale and character of existing development; and,*

*(i) exterior building appearance*

*(j) Council adopted Design Guidelines that will assist in the design and review of applications for development in accordance with the policies noted above.*

**8.11.2.22** *Council will limit the construction of parking spaces in the required front yards of dwellings, in order to protect the aesthetic character of older residential neighbourhoods, ensure the availability of on-street public parking, ensure unhampered pedestrian movement within the public right-of-way and prevent harm to boulevard trees.*

## Analysis

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The proposed ZBA enhances the image of the neighbourhood by complementing and contributing to the area because it is similar in land use (residential); it proposes similar characteristics in built form and massing as described in this report; and contributes to more use of the existing park system and active transportation system in the area.

The proposed development proposes front drive garages because it is a characteristic of the neighbourhood. The development proposes habitable building walls over the garages to lessen the dominance of the garage in line with the Urban Design Guidelines. The parking garage is pushed to the side of the dwellings limiting the appearance of front yard parking more than would coupling the garages as suggested by the guidelines.

The proposed development has been designed with regard to the massing, building height, architectural proportion, *building area to site area ratios, the pattern, scale and character of existing development; and, exterior building appearance.*

### 6.3.6 Tools

Section 11 of the City of Windsor Official Plan provides for the following policies relevant to the proposed ZBA:

## Policy

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### 11.6.3 Zoning By-law Amendment Policies

- 11.6.3.1 *All amendments to the Zoning By-law(s) shall conform with this Plan. The Municipality will, on each occasion of approval of a change to the zoning by-law(s), specify that conformity with the Official Plan is maintained or that the change will be in conformity upon the coming into effect of an amendment to the Official Plan.*
- 11.6.3.3 *When considering applications for Zoning By-law amendments, Council shall consider the policies of this Plan and will, without limiting the generality of the foregoing, consider such matters as the following: (a) The relevant evaluation criteria contained in the Land Use Chapter of this Plan, Volume II: Secondary Plans & Special Policy Areas and other relevant standards and guidelines; (b)*

*Relevant support studies; (c) The comments and recommendations from municipal staff and circularized agencies; (d) Relevant provincial legislation, policies and appropriate guidelines; and (e) The ramifications of the decision on the use of adjacent or similar lands.*

## **Analysis**

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This Report has demonstrated the ZBA conformity with the Official Plan.

No amendment to the Official Plan is required because the proposed use is permitted in the respective land use designation.

This Report has had consideration for relevant standards and guidelines, namely, the City of Windsor Intensification Guidelines (2022). No Secondary Plan or Special Policy Area policies are relevant to the Subject Lands.

No additional support studies were deemed required.

This Report has demonstrated the ZBA consistency with the Provincial Planning Statement (2024) and has had regard to matters of provincial interest under the Planning Act.

This ZBA has regard to comments received from the Public as part of the Open House. The proposed development will be similar in use to the adjacent properties (residential) and has considered the visual impact of the development on the neighbouring properties. The development has been designed to be compatible in building and lot regulations, massing, and building materials to the neighbouring dwellings.

## **Summary**

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Based on the foregoing analysis, it is my professional opinion that the ZBA conforms with the City of Windsor Official Plan.

### **6.4 City of Windsor Community Strategic Plan**

Windsor's Community Strategic Plan was adopted by City Council in 2007. It includes pillars and objectives which relate to a Diverse and Caring Society. The objectives of this Pillar include the creation of complete neighbourhoods. Specifically, the Community Strategic Plan, in creating complete neighbourhoods, encourages the development of quality neighbourhoods that are well integrated with shopping, workplaces, recreation,



and makes sure that those who need assistance have decent and convenient places to live.

The proposed ZBA meets the vision and mission of the Community Strategic Plan by offering diverse housing options in proximity to population related commercial uses, parks, and transit services contributing to the creation of a complete community.

## 7.0 Proposed Zoning By-Law Amendment

The Subject Lands are zoned 'Residential District 1.1' (RD1.1) Zone in accordance with Map 15 of Zoning By-Law 8600.

Amendments to Zoning By-Law 8600 for the Subject Lands are required to facilitate the construction of two (2) *Semi-Detached Dwellings* with a total of four (4) *Dwelling Units*.

The following actions are required to facilitate the ZBA:

### **Add the following under Section 20 (1) -Site Specific Provisions:**

For the lands comprising Part 2 and Parts 3 and 5 on Registered Plan 1597, situated on the west side of McRobbie Road, north of Leisure Crescent, as more particularly described in Schedule 'A' to By-law No. XX, the permitted uses shall be limited to one (1) Single Unit Dwelling and one (1) Semi-Detached Dwelling and the following lot and building regulations shall apply:

1. The minimum lot width for a Semi-Detached Dwelling shall be 14.2m,
2. Despite subsection 5.11.5 of this By-law, the maximum width of a garage forming part of a main building shall not exceed 71% of the maximum permitted width of the main building on the lot

**Table 6** and **Table 7** provides an overview of how the proposed Zoning regulations comply with the Provincial Planning Statement (2024) and the City of Windsor Official Plan.

**Table 6-**

**Zoning By-Law Compliance (RD2.1)**

<b>Regulation</b>	<b>Required</b>	<b>Proposed</b>	<b>Compliance</b>
<b>RESIDENTIAL DISTRICT 2.2 (RD2.2) ZONE</b>			
<b>Permitted Use</b>	One <i>Single Unit Dwelling</i> ,  One <i>Semi-Detached Dwelling</i>	One <i>Semi-Detached Dwelling</i> on each lot	<b>Complies.</b>
<b>Minimum Lot Width</b>	15.0m	14.2m	<b>Amendment Required for the Semi-Detached Dwelling. Variances for the lot width for the Single Units were granted through A-068/24 and A-069/24)</b>
<b>Minimum Lot Area</b>	450.0m <sup>2</sup>	562.32m <sup>2</sup>	<b>Complies.</b>
<b>Maximum Lot Coverage</b>	45%	42.3%	<b>Complies.</b>
<b>Maximum Main Building Height</b>	9.0m	8.9m	<b>Complies.</b>
<b>Minimum Front Yard Depth</b>	6.0m	6.1m	<b>Complies.</b>
<b>Minimum Rear Yard Depth</b>	7.5m	11.3m	<b>Complies.</b>
<b>Minimum Side Yard Width</b>	1.2m	1.3m	<b>Complies.</b>
<b>Maximum Gross Floor Area -Main Building</b>	400m <sup>2</sup>	354.52m <sup>2</sup> (177.26m <sup>2</sup> for each unit)	<b>Complies.</b>

**Table 7-**

**Zoning By-Law Compliance (Other Standards)**

Regulation	Required	Proposed	Compliance
Other Standards			
<b>Subsection 5.11.5 (Carport/Garage)</b>	In any residential district, for a single unit dwelling, semi-detached dwelling, duplex dwelling or townhome dwelling, the maximum width of a carport or garage forming part of the main building shall not exceed 60.0 percent of the maximum permitted width of the main building on the lot.	71%	<b>Amendment Required.</b>
<b>Subsection 5.23.1 (Dwelling – Semi-Detached and Townhome – Additional Provisions)</b>	For a dwelling unit in a semi-detached dwelling or in a townhome dwelling, a door that opens to the rear yard shall be located a minimum of 1.20 m from the centreline of the common wall between the dwelling units.	1.20m	<b>Complies.</b>
<b>Subsection 5.23.5.3 (Dwelling – Semi-Detached and Townhome – Additional Provisions)</b>	When a lot on which a semi-detached dwelling or townhome dwelling has been erected and is subsequently divided in compliance with Part VI of the	42.32%	<b>Complies.</b>

	<p>Planning Act by a common interior lot line that separates the dwelling units, for each dwelling unit the following additional provisions shall apply:</p> <p>.3 Lot Coverage – Total – maximum – 50% of lot area</p>		
<b>Subsection 24.20.5 (Required Parking Spaces)</b>	1 parking space for each <i>Semi-Detached Dwelling Unit</i>	2 for each unit	<b>Complies.</b>
<b>Subsection 24.20.10 (Size of Parking Space)</b>	Each parking space shall have a minimum of length of 5.5m and a minimum width of 2.5m, except where one side of the parking space is flanked by a wall or fence, each parking space shall have a minimum length of 5.5m and a minimum width of 3.5m.	<p>3.4m x 6.1m for surface parking space</p> <p>4.1m x 7.3m for garage parking space</p>	<b>Complies.</b>
<b>Subsection 24.28.1.3.2 (Front Yard Paving and Surfacing in Residential Districts)</b>	For a single-unit dwelling, semi-detached dwelling, duplex dwelling or townhome dwelling unit, the total area of the required front yard occupied by a hard surface for the purpose of a walkway, driveway,	52.3%	<p><b>Complies.</b></p> <p>Maximum surface coverage is 60% because lot width is 2 metres less than 9m.</p>

	<p>access area or a parking space or any combination thereof cannot exceed:</p> <p>.2 for a lot having a width of less than 9 m: 50% of the required front yard area plus 5% for each 1 metre decrease in lot width below 9 m to a maximum of 70% of the required front yard area.</p>		
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## 8.0 Summary

It is the professional opinion of the undersigned that the application for Zoning By-Law Amendment (ZBA) has regard to matters of Provincial Interest, is consistent with the Provincial Planning Statement (2024), conforms to the City of Windsor Official Plan, has regard to applicable City Guidelines and Strategic Plans, and represents good planning.

### 8.1 Good Planning

Good Planning is guided by public interest and results in well-planned and enjoyable communities that have the amenities people need. These communities contribute to well-being and long-term societal goals such as housing affordability.

The ZBA is guided by public Interest by proposing an appropriate range of housing that has been determined to be required to meet the current and future needs of the regional housing market and appropriate for the planned use of the area.

The adverse impacts of the ZBA have been determined, through public consultation, to be mainly visual. The ZBA responds to this planning conflict by designing the dwellings to incorporate similar lot and building regulation resulting in even spacing and relative setbacks from streets; and, similar building massing and materials to those dwellings on McRobbie which have a similar architectural style.

The proposed ZBA responds to concerns regarding parking by including additional parking spaces which exceeds the requirements of the zoning by-law. The garages have

been designed to be functionally suitable as a parking area and is therefore larger in width than what is permitted under Zoning By-Law 8600 but measures have been undertaken to reduce the impact of the width by adding residential space ontop of the garage, in line with the recommendations of the Guidelines (2022). To further reduce the visual impact, the applicant may also pull up the front entrance to be more in line with the garage, encouraging more sense of place.

The proposed ZBA provides an adequate provision of housing and resolves planning conflicts involving public and private interests. The proposed ZBA has no impact on other matters of provincial interest such as the protection of ecological systems, agricultural resources, or cultural resources. The proposed ZBA efficiently uses infrastructure, is proposed in an appropriate location for growth and development, promotes a well-designed built form, and is therefore, good planning.

## 9.0 Conclusions

The application should be approved for the following reasons:

- **The application has regard to matters of Provincial Interest, as required under Section 2 of the Planning Act.**
- **The application is consistent with the Provincial Planning Statement (PPS, 2024).**
- **The application conforms with the City of Windsor Official Plan.**
- **The application is an excellent example of residential intensification through redevelopment of an underutilized residential site in a fully serviced Settlement Area.**
- **The application will allow for the provision of a full range of housing, specifically, Two (2) Semi-Detached Dwellings for four (4) units total: a variety of housing that is required to meet the current and future needs of the City of Windsor.**

Respectfully submitted,



Rita Jabbour, RPP, MSc, BA  
Registered Professional Planner  
RJ PLANNER  
T: 519-322-7974  
E: [info@rjplanner.com](mailto:info@rjplanner.com)

## Appendix A





March 27, 2025

Jasmeen Dhillon  
5980 Tecumseh Rd E  
Windsor, ON N8T 1E3

**RE: PC-027/25 - STAGE 1 PLANNING CONSULTATION FOR ZONING BY-LAW AMENDMENT (ZBA)**

**APPLICANT:** Jasmeen Dhillon  
**AGENT:** Same as applicant  
**LOCATION:** 3185, 3187, 3189 and 3191 McRobbie Road  
**ROLL NO:** To be determined by MPAC

The Stage 1 Planning Consultation process is complete. The development concept has been circulated to determine what supporting information is needed to address potential concerns and constitute a complete Zoning By-law Amendment application. The applicant must complete the requirements outlined in this letter to move forward with the Stage 2 Planning Consultation process.

**PROPOSAL:**

The applicant proposes to construct two, two-storey semi-detached dwellings on each lot (Part 2 and Parts 3 and 5 on 12R29955). Each semi would contain one dwelling unit on each side, for a total of 4 dwelling units over the two lots. Two parking spaces are proposed for each lot. A rezoning to RD2.2 is requested to permit a semi-detached dwelling as an additional permitted main use.

**ZONING BYLAW 8600:** Residential District 1.1 (RD1.1)

**OFFICIAL PLAN DESIGNATIONS – VOLUME I:**

Schedule A: Planning Districts & Policy Areas – Forest Glade Planning District

Schedule D: Land Use – Designated as “Residential”

Schedule F: Roads & Bikeways – located on a Local Residential Road (McRobbie Road)

**APPLICATION TYPE AND REQUIRED APPLICATION FEE:**

Application forms are available at the [City of Windsor Applications/Fees Page](#). Read them in full. Fees are subject to change. Verify fees before submitting any applications.

- 1. Stage 2 Planning Consultation Application (PC2) Fee \$2,323.50-** The Stage 2 Planning Consultation Application must be completed before a Zoning By-law Amendment application can be submitted and must be accompanied by the supporting documents indicated below.
- 2. Zoning By-law Amendment (ZBA) – Minor Rezoning – Fee \$2,413.50–** A zoning by-law amendment application shall be submitted after the Stage 2 Planning Consultation is

deemed complete. Please read the application in full prior to submission. In addition to the proposed amendment, indicate any other requested site-specific exceptions on the application form. The applicant is responsible for ensuring the development complies with the provisions of Zoning By-law 8600 and any proposed zoning district provisions and site-specific exception.

## **REQUIRED SUPPORT STUDIES OR INFORMATION FOR STAGE 2 PLANNING CONSULTATION:**

- 1. Standard requirements as indicated on the Application Forms:** Conceptual elevations, conceptual floor plans, conceptual site plans; deed and/or offer to purchase. All concept designs must be in metric measurements and pdfs flattened.
- 2. Public Consultation Meeting** – The purpose of the public consultation meeting (Open House) is to provide an opportunity for consultation by the applicant with citizens who may be impacted by the proposal before the application is deemed to be complete. It must be held before a Stage 2 Planning Consultation application is submitted and should provide conceptual plans and elevations. A report of the meeting is required and can be included in the Planning Rationale Report. Municipal staff will be made available to attend as observers and to answer general questions. Staff will provide a list of addresses and mailing labels of all tenants and property owners within 200 m of the subject lands. For additional information, see Section 10.2.19 of the Official Plan.
- 3. Planning Rationale Report** – A Planning Rationale Report (PRR) completed by a Registered Professional Planner or qualified professional is required to explain and justify the proposed rezoning/ site-specific provisions and compatibility of the development with the surrounding area. The PRR shall summarize any other required studies listed below and may include a report of the Public Consultation Meeting. See the [Supporting Studies – Terms of Reference of the Official Plan](#) for more information. Contact: Diana Radulescu, Planner II – Development Review, [dradulescu@citywindsor.ca](mailto:dradulescu@citywindsor.ca) or 519-255-6543 x 6918.

## **NOTES TO APPLICANT**

### **City of Windsor – Site Plan Control**

Site Plan is not applicable for this proposed development pursuant to the Planning Act and City of Windsor By-law 1-2004.

### **City of Windsor – Transit Windsor**

Transit Windsor has no objections to this development. The closest existing transit route to this property is with the Lauzon 10. The Lauzon 10 has a peak weekday frequency of 35 minutes. The closest existing bus stop to this property is located on Wildwood at Ancona Southeast Corner. This bus stop is approximately 380 metres from this property falling within Transit Windsor's 400 metre walking distance guidelines to a bus stop. Transit Windsor's City Council approved 2023 Service Plan has two new local routes replacing the Lauzon 10 for this area. They will have peak weekday frequencies of 20-30 minutes. Both routes will operate in both directions versus the existing one way loop on the Lauzon 10 providing more convenience and enhanced transit services for this area. There is a proposed bus stop on Mulberry at Robinet Southwest Corner that is approximately 260 metres from this property reducing the walking distance to transit

services. This is consistent with Transit Windsor's City Council approved Transit Master Plan.

### **City of Windsor – Engineering**

No supporting information is required.

### **ENWIN Utilities - Hydro Engineering**

No Objection to Re-zoning.

Anwar Nagar, Hydro Engineering Technologist

### **ENWIN Utilities - Water Engineering**

ENWIN Water has no objections. There are no water services for these lots.

Bruce Ogg, Water Project Review Officer

### **City of Windsor – Transportation Planning**

No supporting information is required. All parking must comply with Zoning By-law 8600.

### **City of Windsor – Planning Department – Heritage Planning**

There is no apparent built heritage concern with this property, and it is not located within an Archaeological Potential Zone (APZ). Nevertheless, the Applicant should be notified of the following archaeological precaution.

1. Should archaeological resources be found during grading, construction or soil removal activities, all work in the area must stop immediately and the City's Planning & Development Services Department, the City's Manager of Culture and Events, and the Ontario Ministry of Citizenship and Multiculturalism must be notified and confirm satisfaction of any archaeological requirements before work can recommence.
2. In the event that human remains are encountered during grading, construction or soil removal activities, all work in that area must be stopped immediately and the site secured. The local police or coroner must be contacted to determine whether or not the skeletal remains are human, and whether the remains constitute a part of a crime scene. The Local police or coroner will then notify the Ontario Ministry of Citizenship and Multiculturalism and the Registrar at the Ministry of Government and Consumer Services if needed, and notification and satisfactory confirmation be given by the Ministry of Citizenship and Multiculturalism.

Contacts:

Windsor Planning & Development Services Department:

519-255-6543 x6179, ttang@citywindsor.ca, planningdept@citywindsor.ca

Windsor Manager of Culture and Events (A):

Michelle Staadegaard, (O) 519-253-2300x2726, (C) 519-816-0711,  
mstaadegaard@citywindsor.ca

Ontario Ministry of Citizenship and Multiculturalism

Archaeology Programs Unit, 1-416-212-8886, [Archaeology@ontario.ca](mailto:Archaeology@ontario.ca)

Windsor Police: 911

Ontario Ministry of Government & Consumer Services

A/Registrar of Burial Sites, War Graves, Abandoned Cemeteries and Cemetery Closures,  
1-416-212-7499, [Crystal.Forrest@ontario.ca](mailto:Crystal.Forrest@ontario.ca)

Contact: Tracy Tang, Planner III, [ttang@citywindsor.ca](mailto:ttang@citywindsor.ca) or 519-255-6543 x6449

### **City of Windsor – Landscape & Urban Design**

I have reviewed the file above and have no comments to offer at this time.

### **City of Windsor – Forestry**

There are No city owned trees on the property's

There are Private trees located on the property, severed from 3196 Robinet

Forestry has NO concerns at this time regarding the request for a Zoning By-law Amendment.

For any future development on the property, Forestry may have concerns regarding the ability to preserve existing on-site and adjacent trees and tree canopy cover as per City Policy.

The owner/developer may be requested to provide a detailed tree inventory for all live trees over 10cm DBH within the proposed development area, both city and privately owned. This inventory should include trees on adjacent lots in close proximity (5 meters) to the property lines. The inventory should identify ownership and provide sub-meter accuracy GPS location, species, diameter (DBH) and condition for each tree. For trees in proximity to a roadway, less than 10m, GPS location should be taken on the nearest road-side of the tree. Indication should be made for each tree if it is to be preserved & protected or removed during development. A qualified Arborist, Urban Forester or Landscape Architect should conduct the tree survey.

Forestry will require detailed site plans prior to construction that show adequate Tree Root protection zones for each individual tree if they are to be preserved on-site and those in proximity on adjacent lots through the development process. Basic Tree protection includes exclusion fencing at the 'drip-line +1 meter' distance for each tree. Full details regarding the size of protection area required, the permitted activity within the protection zone and the type of fencing for protection zones can be provided by Forestry. City Trees are protected from damages and removal under City by-law 135-2004 and 131-2019.

If the trees are not to be preserved or cannot be adequately protected through the development process a request must be made that specific trees be removed. A Removal & Canopy Replacement costs may be calculated based on cost-to-remove and a Diameter-for-Diameter replacement ratio for both City owned and Private trees.

If individual trees are initially identified to be preserved and provided with Protection zones but are damaged or encroached upon during construction, then Removal and Replacement costs will apply.

Forestry requests the opportunity to review future landscaping plans in order to provide comment and suggestion regarding new tree species selection, stock types and long - term tree care that would enhance tree survival, performance and aesthetics on-site and would maximize future on-site Tree Canopy and City-wide Tree Canopy Resilience.

Contact: Yemi Adeyeye, City Forester, [yadeyeye@citywindsor.ca](mailto:yadeyeye@citywindsor.ca) or 519-253-2300 x2760

## **CONCLUSION:**

The Stage 1 Planning Consultation Process has been completed, and comments have been provided regarding required studies and additional information pertaining to the proposal. The applicant may choose to consult with the Planning Department prior to proceeding with the development application. The Stage 2 Planning Consultation Application for the proposed Zoning By-law Amendment must be completed before a development application under the Planning Act can be submitted.

Administration, the Development and Heritage Standing Committee (DHSC), and City Council reserve the right to request additional information prior to the rendering of a final decision. This Stage 1 Planning Consultation Letter does not provide the position of staff or the Corporation of the City of Windsor regarding the proposed development and **expires at the end of March 27, 2026**.

For any changes to the proposal, contact me as soon as possible to determine if those changes may have an impact on the information provided in this letter. If you have any questions regarding the content of this letter or any process in general, contact me at [dradulescu@citywindsor.ca](mailto:dradulescu@citywindsor.ca) or 519-255-6543 x 6918.

Sincerely,



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Diana Radulescu  
Planner II – Development Review

DR/nm

## Appendix B

## Appendix B

### Terms of Reference – Planning Application Technical Studies

Where the City requires technical studies to be submitted in conjunction with a planning application, the Terms of Reference for the required studies shall be based on the following guidelines. The City may scope the scale of the study in terms of the study area, the duration of the study and the reporting requirements in a manner that reflects the scale and/or complexity of the development. These guidelines are not part of the Official Plan and may be amended from time to time to reflect changing conditions and circumstances.

#### Planning Rationale Report

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***Purpose:***

*The purpose of the Planning Rationale Report is to provide a framework for an applicant seeking development approval to explain salient details of the application and provide supporting reasons why the proposal should be considered and approved. This document is also intended to assist staff with their review and processing responsibilities.*

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Where a Planning Rationale Report is required, such a study should:

1. Provide a clear description of the proposal together with any appendices, maps or plans that help to provide the context of the location and approvals required;
2. Include a conceptual plan for the development including items such as building design and orientation, landscaping, streetscaping, access locations, pedestrian and vehicular circulation, and development statistics including height, density, proposed setbacks, parking (existing, required, and proposed), and any potential phasing plans;
3. Describe the site's previous development approval history;
4. Describe major physical features or attributes of the site including current land uses(s) and surrounding land uses, built form and contextual considerations together with maps and appendices which assist with context;
5. Provide a professional opinion on:
  - i. How the proposal addresses the relevant requirements of the Planning Act, and how the proposal is consistent with the Provincial Policy Statement;
  - ii. Compliance with relevant Official Plan policies, including both general policies and site-specific land use designations and policies;
  - iii. How the proposal addresses the Community Strategic Plan and/or any applicable City adopted Design Guidelines;

- iv. The suitability of the site and indicate reasons why the proposal is appropriate for this site and will function well to meet the needs of the intended future users;
  - v. Compliance and/or non-compliance with the Zoning By-law.
- 
- 6. Provide an analysis of the compatibility of the design and massing of the proposed developments and land use designations on properties in the vicinity;
  - 7. Provide a summary of the questions, concerns and/or comments raised at any Open House, together with a response that sufficiently addresses each item raised;
  - 8. Provide an analysis and professional opinion as to why the proposal represents good planning, including the details of any methods that are used to mitigate potential undue, adverse impacts;
  - 9. Provide a summary on the policy and planning analysis, including a summary of recommendations from other supporting studies required as part of the complete application, and how they have informed the Planning Justification Report;
  - 10. Provide a comprehensive professional planning conclusion demonstrating how a proposal conforms to applicable planning policy documents and good planning principles; and
  - 11. Where modifications to the Official Plan and/or zoning by-law provisions are proposed, a draft Amendment and detailed concept plan shall be provided applying all applicable policy and zoning regulations;

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### ***Qualifications:***

*A Planning Rationale Report must be completed by a Registered Professional Planner (RPP), registered with the Ontario Professional Planners Institute (OPPI), to the satisfaction of the City Planner.*

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## Appendix C

GENERAL NOTES	
1.	ALL CONSTRUCTION TO COMPLY WITH THE GENERAL NOTES AND/OR THE CURRENT ONTARIO BUILDING CODE, FIRE CODE, PLUMBING CODE, ELECTRICAL CODE AND/OR LOCAL BY-LAWS. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
2.	WINDOW AND DOOR SIZES ARE SHOWN FOR REFERENCE ONLY. GENERAL CONTRACTOR SHALL CONSULT MANUFACTURER SPECIFICATIONS FOR ALL EXACT ROUGH OPENING SIZES AND GLAZING DIMENSIONS PRIOR TO CONSTRUCTION. LOCATION, HEAD HEIGHTS AND SILL HEIGHTS TO BE CONFIRMED ON SITE BY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.
3.	WOOD WALL AND FLOOR FRAMING SHALL COMPLY WITH OBC PART 9 EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED ON DRAWINGS
4.	WOOD ROOF FRAMING SHALL COMPLY WITH OBC SECTION 9.23.13 EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED ON DRAWINGS
5.	MINIMUM FOOTING DEPTH SHALL BE 4'-0" BELOW FINISHED GRADE. UNDER-FLOOR SPACE SHALL COMPLY WITH OBC 9.18.
6.	PERMIT APPLICANT TO SUBMIT EITHER A TRUSS DESIGN DATA SHEET OR THE COMPLETE TRUSS DESIGN DRAWINGS FOR ANY PRE-ENGINEERED ROOF TRUSSES OR GIRDERS
7.	ALL ATTICS ARE DESIGNED AS NON-STORAGE UNLESS OTHERWISE NOTED
8.	PROVIDE INSULATION TO MEET OBC 9.25.2 AND SB-12. ALL EXTERIOR WALLS TO BE MINIMUM R24.
9.	PROVIDE RIGID INSULATION AT ALL PERIMETER SLAB ON GRADE CONDITIONS
10.	DAMP-PROOFING AND WATER-PROOFING SHALL COMPLY WITH OBC SECTION 9.13.
11.	ALL BRICK OR MASONRY LEDGES SHALL BE A MINIMUM OF 6" ABOVE FINISHED GRADE.
12.	GRADING SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE BUILDING AT EVERY POINT WHERE THE BUILDING MEETS FINISHED GRADE.
13.	VENTILATION OF CONCEALED ROOF SPACES SHALL BE MAINTAINED
14.	ELECTRICAL SYSTEM DESIGN IS BY OTHERS.
15.	MECH & HVAC SYSTEM DESIGN IS BY OTHERS
16.	PLUMBING DESIGN IS BY OTHERS
17.	DO NOT SCALE DRAWINGS.
18.	G.C. TO CONFIRM REQUIREMENTS FOR ZONING, SETBACK, AND ENVIRONMENTAL RESTRICTIONS PRIOR TO CONSTRUCTION.
19.	THESE DWGS ARE FOR MIN. BUILDING PERMIT ONLY AND DO NOT GIVE ALL DETAILS FOR COMPLETE BUILDING PROCESS. G.C. IS RESPONSIBLE FOR ALL OTHER DETAILS INFO, ENG. STAMPS FOR CONC. REINF. PORCHES OR POINT LOADING DIAGRAMS, LINTEL DESIGNS, BEAM REINFORCEMENT NEEDED FOR BUILDING PERMIT PROCESS IF REQUESTED BY LOCAL MUNICIPAL AUTHORITIES
20.	THIS CONSULTANT IS UNAWARE OF ANY SOIL BEARING CAPACITY PROBLEMS. THIS CONSULTANT HAS ADVISED OWNER TO INVOLVE A GEOTECHNICAL CONSULTANT THROUGHOUT CONSTRUCTION TO ADVISE CONSULTANT OF ALL SUBSURFACE CAPACITIES. IF ANY SOIL PROBLEMS EXIST, THE OWNER MUST HIRE A ENG. TO SOLVE THESE PROBLEMS AND PAY FOR ALL FEES AND EXTRA MATERIALS DURING THIS TIME.
21.	G.C. MUST HIRE ONT. LAND SURVEYOR TO PLACE HOME ON SITE AND SET ELEVATIONS FOR EXCAVATIONS AND PRODUCE A COMPLETE GRADING PLANS FOR OWNERS AND LOCAL AUTHORITIES APPROVAL
22.	DESIGNER IS NOT HIRED NOR RESPONSIBLE FOR CONSTRUCTION REVIEW DURING CONSTRUCTION. ANY INTERIOR OR EXTERIOR MODIFICATIONS MADE BY G.C. DURING CONSTRUCTION MUST BE REPORTED TO THIS CONSULTANT. IF NOT THE DESIGNER WILL NOT TAKE ANY RESPONSIBILITY FOR ERRORS MADE DURING CONSTRUCTION INCURRING COST TO THE DESIGNER.
23.	G.C. MUST CHECK ALL DIMENSION OF PLANS AND FIELD DIM. PRIOR TO ORDERING PRE-ENG. TRUSSES AND REPORT AND DIFFERENCES TO THIS DESIGNER IN WRITING IMMEDIATELY PRIOR TO ERECTION AND FABRICATION OF TRUSSES
24.	ALL DIMENSIONS ON PLANS ARE SHOWN IN NOMINAL DIMENSIONS FOR EASE OF CONSTRUCTION AND ADDING OF FRACTIONS
25.	G.C. IS RESPONSIBLE FOR DEVELOPER APPROVAL OF ALL DESIGNS. PRIOR TO WORKING DWGS STARTED.
26.	G.C. IS RESPONSIBLE TO ALSO REVIEW TRUSS SHOP DWGS AND APPROVE AND UNDERSTAND ALL CONSTRUCTION METHODS AND DETAILS OF PRELIM. ROOF SHOP DWGS AND APPROVE PRIOR TO SUBMITTING PERMIT DWGS BY THIS DESIGNER.
27.	G.C. IS RESPONSIBLE TO KEEP ALL DESIGN COMPONENTS AND LAYOUT THE SAME AS PER THESE DWGS. FAILURE TO DO SO VOIDS THESE DWGS AND FIELD MEASUREMENTS AND MUST BE DONE TO SIT ON SITE CONDITIONS. THIS CONTRACTOR MUST PAY FOR THESE REVISIONS.
28.	EXTERIOR FINISHES AND FINISHING SYSTEMS ARE FOR DEMONSTRATION. G.C. MAY USE APPROVED FINISHES AND FINISHING SYSTEMS THAT MEET MINIMUM CODE. DESIGNER MUST BE INFORMED AND APPROVE CHANGES FROM DEMONSTRATED FINISHES AND FINISHING SYSTEMS.
29.	EXTERIOR FINISHES, WINDOWS, DOORS SIZES AND STYLES, KITCHEN LAYOUTS, BATH LAYOUTS, AND BASEMENT DESIGNS ARE THIS DESIGNERS RENDERING OF WHAT THE HOUSE CAN INCLUDE. GENERAL CONTRACTORS CONTACT SHALL SUPERCEDE IN ALL ABOVE MENTIONED CATEGORIES AS LONG AS THEY MEET O.B.C. G.C. TO INFORM DESIGNER OF ANY DIFFERENCES TO THIS PLAN.

GENERAL NOTES	
FOOTINGS AND SLABS	
•	FOOTINGS AND FOUNDATIONS TO COMPLY WITH O.B.C. SECTION 9.15
•	SLABS TO COMPLY WITH O.B.C. SECTION 9.16
•	CONCRETE FOUNDATION WALLS TO COMPLY WITH O.B.C. SECTION 9.15
•	CONCRETE FOUNDATION WALLS TO COMPLY WITH O.B.C. SECTION 9.15
•	ATTACHED GARAGES SHALL COMPLY WITH O.B.C. SECTION 9.26
•	MASONRY VENEER WALLS
•	MASONRY VENEER WALLS SHALL COMPLY WITH O.B.C. SECTION 9.20
•	WOOD FRAMING
•	WOOD FRAMING SHALL COMPLY WITH O.B.C. SECTION 9.23
•	ROOF CONSTRUCTION
•	ROOF CONSTRUCTION SHALL COMPLY WITH O.B.C. SECTION 9.26
•	BASEMENT
•	PROVIDE 0.2% MINIMUM OF UNFINISHED BASEMENT FLOOR AREA, UNOBSTRUCTED VENTILATION AREA TO THE OUTDOORS
•	DOORS AND WINDOWS
•	DOORS AND WINDOWS SHALL COMPLY WITH O.B.C. SECTION 9.5
•	FLASHING
•	FLASHING SHALL COMPLY WITH O.B.C. SECTIONS 9.26, 9.27
•	INSULATION AND VAPOUR BARRIERS
•	INSULATION SHALL COMPLY WITH O.B.C. SECTION 9.7.6
•	VAPOUR BARRIERS SHALL COMPLY WITH O.B.C. SECTION 9.25
•	FIRE SEPARATION
•	FIRE SEPARATION SHALL COMPLY WITH O.B.C. SECTION 9.10
•	CHIMNEY AND FLUES
•	CHIMNEY AND FLUES SHALL COMPLY WITH O.B.C. SECTION 9.21
•	NATURAL AND MECHANICAL VENTILATION
•	NATURAL AND MECHANICAL VENTILATION SHALL COMPLY WITH O.B.C. SECTION 9.22
•	SMOKE ALARMS
•	SMOKE ALARMS SHALL COMPLY WITH O.B.C. SECTION 9.10

GENERAL NOTES	
1.	THESE GENERAL NOTES REFER TO ALL ARCHITECTURAL DRAWINGS
2.	THE ONTARIO BUILDING CODE LATEST EDITION SHALL BE THE BASIS FOR THE DESIGN AND CONSTRUCTION FOR THIS PROJECT
3.	WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
4.	GENERAL CONTRACTOR TO VERIFY ALL SITE CONDITIONS PRIOR TO HOME CONSTRUCTION.
5.	CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE CONSULTANTS MUST BE NOTIFIED IN WRITING OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS.
6.	CONTRACTOR SHALL PROMPTLY NOTIFY THE CONSULTANT IN WRITING OF THE EXISTENCE OF ANY OBSERVED VARIANCES BETWEEN THE DOCUMENTS AND APPLICABLE CODES OR ORDINANCES OR REGULATORY AGENCIES
7.	CONSULTANT WILL NOT BE HELD RESPONSIBLE FOR ANY OMISSIONS TO, ERRORS PERTAINING TO, OR DEVIATIONS FROM THIS SET OF DRAWINGS DURING THE CONSTRUCTION PROCESS.
8.	SPECIFIC NOTES AND SPECIFIC DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTE AND TYPICAL DETAILS.
9.	THE CONTRACTOR SHALL OBTAIN ANY ALL NECESSARY PERMITS AND ARRANGE FOR ALL REQUIRED INSPECTIONS AS REQUIRED BY GOVERNING LAWS.
10.	ALL COLOURS FOR MATERIAL SPECIFIED WITHIN THESE DRAWINGS SHALL BE CHOSEN BY CLIENT FROM SAMPLES PROVIDED BY CONTRACTOR.
11.	THESE PRINTS ARE THE PROPERTY AND DESIGN THIS DESIGNER. THE DESIGNER RESERVES THE RIGHT TO REPRODUCE THE SAME HOUSE AT NO BENEFIT TO THE PURCHASER OF THIS HOME.

CONSTRUCTION NOTES	
1.	DOWNSPOUTS MAY CONNECT AT HARD SURFACES ONLY
2.	EXHAUST FANS AND DUCTS SHALL BE SIZED ACCORDING TO O.B.C. PART 6 OR 9.32. ALL FANS SHALL EXHAUST DIRECTLY OUTDOORS. KITCHEN EXHAUST FAN SHALL BE NON-COMBUSTIBLE PIPE
3.	PROVIDE AN ATTIC ACCESS HATCH THAT IS MIN 34 FT² WITH NO DIMENSION LESS THAN 21.5" OR 20" x 28" MIN
4.	ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO 9.8, O.B.C.
5.	GARAGE ENTRY DOOR SHALL BE TIGHT-FITTING, WEATHER STRIPPED AND SELF CLOSING TO PROVIDE A GAS PROOF SEAL
6.	ANY CHANGES TO THE BACKFILL HEIGHT DURING CONSTRUCTION MUST BE APPROVED BY THE CBO.
7.	SMOKE DETECTORS REQUIRED IN EACH SLEEPING ROOM & HALLWAY AS PER 9.10.19.3. of O.B.C.
8.	ALL HVAC, PLUMBING AND ELECTRICAL DEPICTED AND OR LOCATED ON THIS DRAWING ARE THIS DESIGNERS INTERPRETATION AND ARE SUBJECT TO CHANGE. G.C. TO CONFIRM ALL LOCATIONS
9.	THE OWNER IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF CONC. STAIRS, CONC. PORCH, HANDRAILS, AND GRADING ASSOCIATED WITH REAR COVERED PORCH. THE CONTRACTOR IS NOT RESPONSIBLE UNLESS EXPLICITLY STATED IN THE BUILDING CONTRACT.
10.	THIS DESIGNER HAS STAMPED AND REVIEWED THESE DRAWINGS, BUT IS NOT RESPONSIBLE FOR UNFORESEEN SITE CONDITIONS. THIS DESIGNER IS NOT RESPONSIBLE FOR ERCA, EASEMENTS, SITE PLAN CONTROL, DEVELOPMENT CONDITIONS, AND LOT RESTRICTIONS.
11.	THE GENERAL CONTRACTOR MAY / CAN CHANGE ANY DOORS, WINDOWS, MATERIALS, OR EXTERIOR DETAILS TO MEET THE CONTRACT BETWEEN THE G.C. AND HIS/HER CLIENT. THE G.C. IS TO NOTIFY THIS DESIGNER OF ANY CHANGES THAT ARE MADE TO THESE DRAWINGS.
12.	G.C. TO CONFIRM WALL SYSTEM TO INCLUDE NO LOW PERMEANCE MATERIALS as per 9.25.5.1. of O.B.C. OTHERWISE G.C. MUST ENSURE WALL ASSEMBLY MEETS 9.25.5.2 OF O.B.C.

1.	VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK.
2.	ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO BUILDING CODE.
3.	ALL INTERIOR WALL TYPES TO BE CONFIRMED, UNLESS OTHERWISE NOTED.
4.	VERIFY ALL MEP WORK ON SITE

FLOOR PLAN NOTES	
1.	VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK.
2.	ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO BUILDING CODE.
3.	ALL INTERIOR WALL TYPES TO BE CONFIRMED, UNLESS OTHERWISE NOTED.
4.	VERIFY ALL MEP WORK ON SITE

EXTERIOR ELEVATION NOTES	
1.	ALL EXTERIOR FINISHES AS PER EXTERIOR MATERIAL FINISHES SCHEDULE OR EQUAL APPROVED.
2.	ALL EXTERIOR FINISHES INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS
3.	ALL EXTERIOR TRIMS, SILLS AND FLASHING TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.

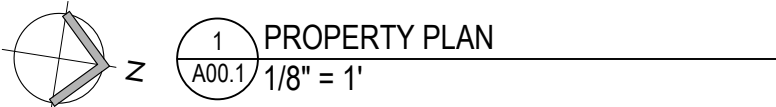
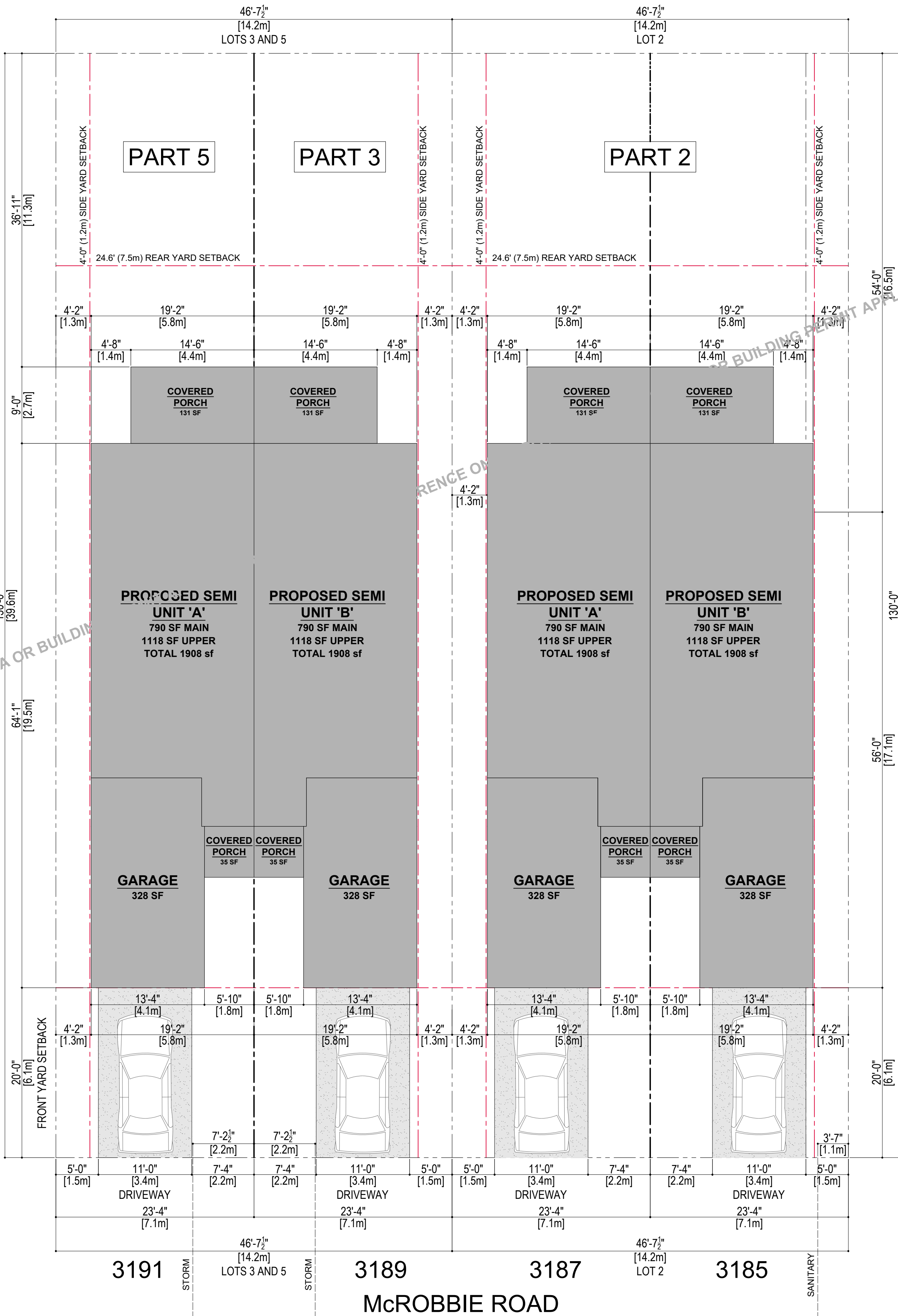
SITE INFO		
ADDRESS	LOT NUMBER	LOT AREA
<b>PARTS 3 &amp; 5</b>  <b>3189 &amp; 3191 McRobbie Windsor, ON</b>	<b>PARTS 3 &amp; 5</b>	<b>6063 ± SF</b>
	ZONING	ALLOWABLE COVERAGE
	<b>RD2.2 (Requested)</b>	<b>2728 SF (45%)</b>
	PROPOSED COVERAGE	<b>2564 SF (42.3%)</b>
BUILDING AREAS UNIT 'A' AND 'B' - COMBINED		
DWELLING	<b>1580 SF</b>	<b>146.79 m²</b>
GARAGE	<b>652 SF</b>	<b>60.57 m²</b>
FRONT PORCH	<b>70 SF</b>	<b>6.5 m²</b>
REAR PORCH	<b>262 SF</b>	<b>24.34 m²</b>
TOTAL LOT COVERAGE	<b>2564 SF (42.3%)</b>	<b>238.2 m² (42.3%)</b>

BUILDING AREAS					
UNIT 'A'			UNIT 'B'		
MAIN	<b>790 SF</b>	<b>73.39 m²</b>	MAIN	<b>790 SF</b>	<b>73.39 m²</b>
BASEMENT	<b>790 SF</b>	<b>73.39 m²</b>	BASEMENT	<b>790 SF</b>	<b>73.39 m²</b>
UPPER	<b>1118 SF</b>	<b>103.87 m²</b>	UPPER	<b>1118 SF</b>	<b>103.87 m²</b>
GARAGE	<b>326 SF</b>	<b>30.29 m²</b>	GARAGE	<b>326 SF</b>	<b>30.29 m²</b>
FRONT PORCH	<b>35 SF</b>	<b>3.25 m²</b>	FRONT PORCH	<b>35 SF</b>	<b>3.25 m²</b>
REAR PORCH	<b>131 SF</b>	<b>12.17 m²</b>	REAR PORCH	<b>131 SF</b>	<b>12.17 m²</b>
TOTAL G.F.A.	<b>1908 SF</b>	<b>177.26 m²</b>	TOTAL G.F.A.	<b>1908 SF</b>	<b>177.26 m²</b>

FRONT YARD		
TOTAL FRONT YARD AREA	<b>466 SF</b>	<b>43.29 m²</b>
HARD SURFACE (Driveway and sidewalks)	<b>220 SF</b>	<b>20.43 m²</b>
LANDSCAPED AREA	<b>246 SF (52.3%)</b>	<b>22.85 m²</b>
PARKING SPACES	<b>2 (1) GARAGE, (1) DRIVEWAY FOR EACH UNIT</b>	

INDEX OF DRAWINGS	
A00.1	SITE PLAN, ROOF PLAN & NOTES
A00.2	BUILDING SECTIONS
A01.1	FOUNDATION AND MAIN FLOOR
A01.2	MAIN AND UPPER FLOOR PLANS
A02.1	ELEVATIONS
A02.2	ELEVATIONS

SITE PLAN NOTES	
1.	THIS DESIGNER IS NOT RESPONSIBLE FOR ERCA, EASEMENTS, SITE PLAN CONTROL, APPROVALS AND DEVELOPMENTAL SITE CONDITIONS, AND LOT RESTRICTIONS.
2.	THIS PLAN IS NOT A LEGAL SURVEY. ALL DIMENSIONS SHOULD BE VERIFIED BY AN O.L.S. THIS SITE PLAN IS PROVIDED AS A GUIDE TO LOCATE THE BUILDING
SITE PLAN LEGEND	
	SETBACKS
	PROPERTY LINES
	Proposed Build
	Hard Surfaces





MARK	WALL / PARTITION LEGEND	DESCRIPTION
W1		EIFS as per MAUNF. GC TO COORDINATE) 1 1/2" RIGIDED INSUL. AIR BARRIER 7/8" O.S.B. or approved equal 2x6 WD STUDS @ 16" o.c. c/w R-22 BATT INSULATION 6 mil POLY VAPOUR BARRIER 5/8" GYPSUM BOARD
W2		BRICKSTONE VENEER 1" AIRSPACE AIR BARRIER 3/4" PLYWOOD 2x6 STUD WALL @ 16" O.C. w/R22 BATT INSULATION or 2x4 STUD WALL @ 16" O.C. w/R12 BATT INSULATION 6mil POLY VAPOUR BARRIER 1/2" GYPSUM BOARD
W3		4" FACE BRICK c/w BRICK TIES 1" AIR SPACE AIR BARRIER 7/8" O.S.B. or approved equal 2x4 STUDS @ 16" o.c. MIN. R-22 BATT INSULATION 2x4 STUDS @ 16" O.C. 6 mil POLY. VAPOUR BARRIER 5/8" GYPSUM BOARD
W4		DRAINAGE LAYER DAMP PROOFING 8" POURED CONCRETE (20MPa min.) R-10 RIGID INSULATION 2x4 STUDS @ 16" o.c. MIN. R-12 BATT INSULATION 6 mil POLY. VAPOUR BARRIER 5/8" GYPSUM BOARD (OPTIONAL)
W5		5/8" TYPE 'X' GYPSUM BOARD RESILIENT CHANNEL ON 2x4" STUDS @ 16" o.c. w/ BATT R-22 INSUL. 1" AIR SPACE 2x4" STUDS @ 16" o.c. w/ BATT INSULATION RESILIENT CHANNEL ON 5/8" TYPE 'X' GYPSUM BOARD
W6		5/8" TYPE 'X' GYPSUM BOARD 2 ROWS 2x4" STUDS @ 16" o.c. WALLS ON SEPARATE 2x4 SILL PLATES w/ 1" MIN. AIR GAP 3-1/2" ABSORPTIVE MATERIAL (ON EACH SIDE) 5/8" TYPE 'X' GYPSUM BOARD
P1		1/2" GYPSUM BOARD 2x4 STUD WALL @ 16" O.C. 1/2" GYPSUM BOARD
P2		1/2" GYPSUM BOARD 2x6 STUD WALL @ 16" O.C. 1/2" GYPSUM BOARD

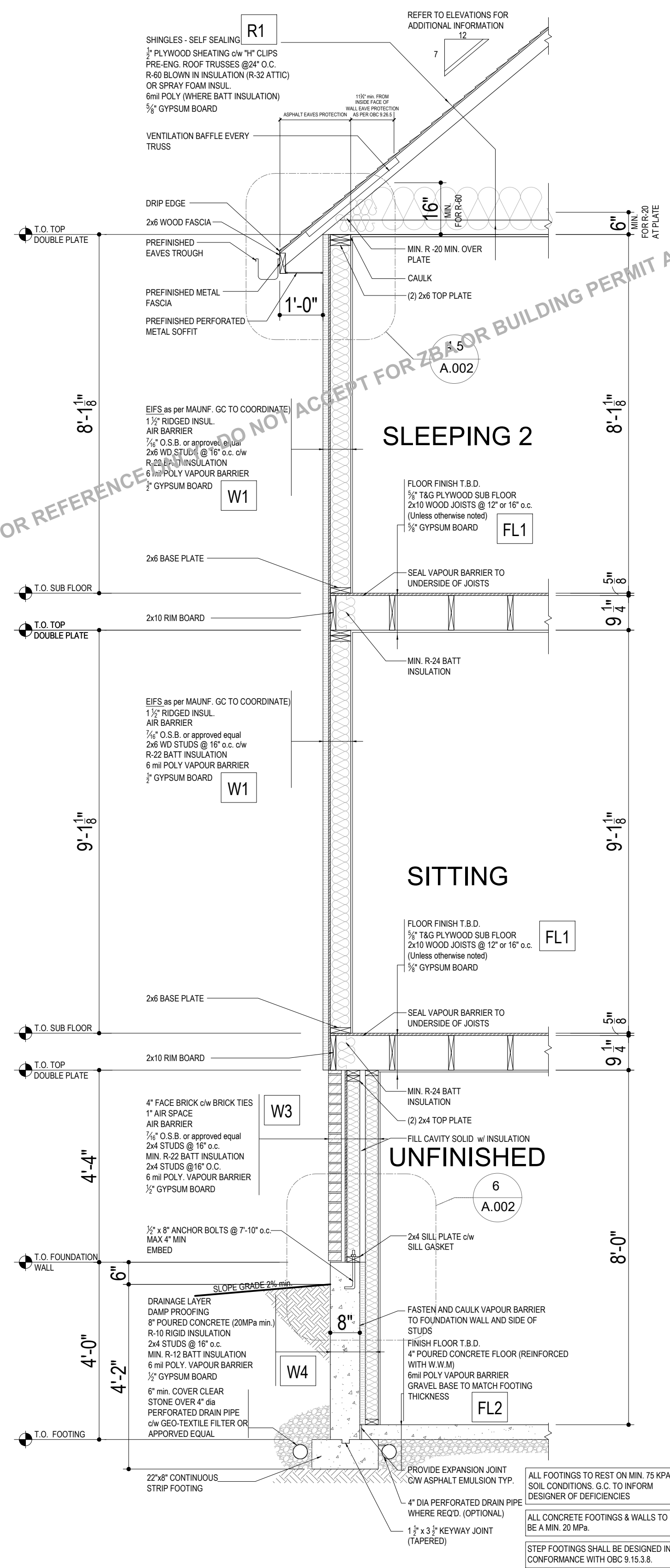
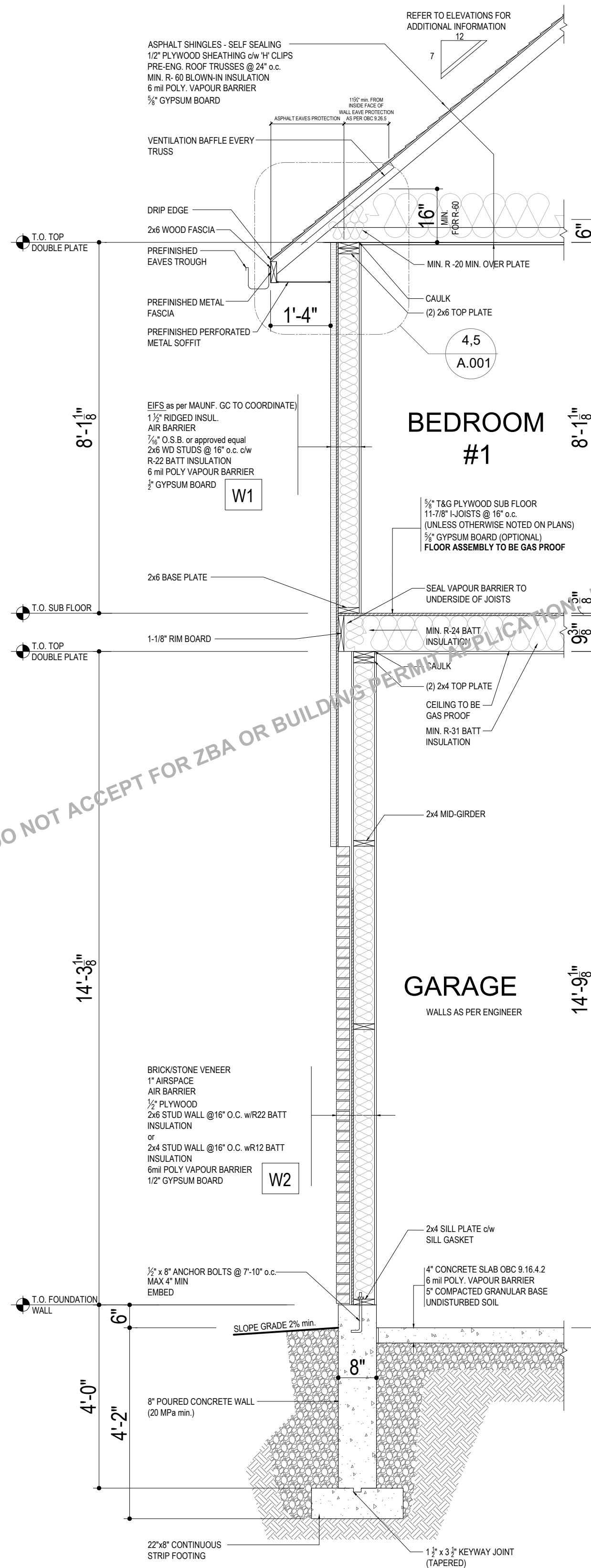
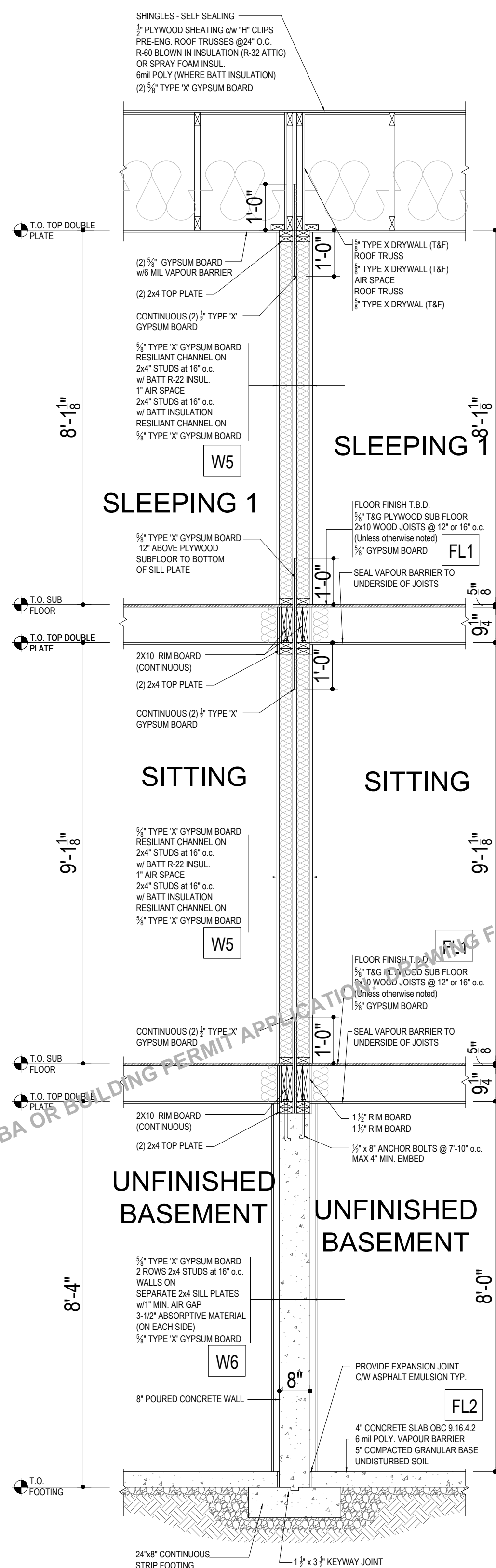
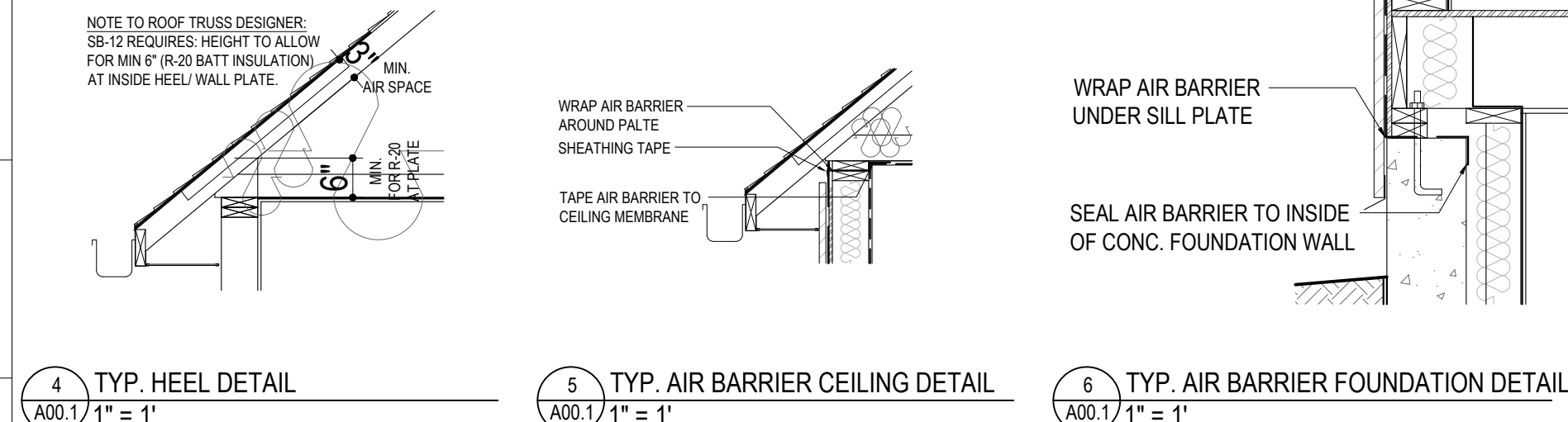
**WALL / PARTITION LEGEND GENERAL NOTES**

- ALL WALL TYPE DESCRIPTIONS COMMENCES FROM THE EXTERIOR FACE TO THE INTERIOR FACE OF THE WALL CAVITY.
- ALL WET AREAS WHERE GYPSUM BOARD IS PRESENT SHALL BE EQUIPPED w/MOISTURE RESISTANT GYPSUM BOARD.
- PROVIDE AND INSTALL ALL EXTERIOR FINISHES, TRIMS & FLASHING AS PER MAUNF. RECOMMENDATIONS.
- PROVIDE FOUNDATION WATERPROOFING AT ALL WALLS ABUTTING BASEMENT AREAS.
- ALL MASONRY VENEERS TO HAVE CODE COMPLIANT WEERPOLES (9.20.13.16), FLASHING (9.20.13.1) AND WALL TIES (9.20.9.5).
- ALL GYPSUM BOARD TO BE TAPED, SANDED AND PAINTED

★ DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING

★ DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING

MARK	FLOOR / ROOF LEGEND	DESCRIPTION
FL1		FLOOR FINISH T.B.D. 3/4" T&G PLYWOOD SUB FLOOR 2x10 FLOOR JOISTS @12" OR 16" O.C. (SEE PLANS) 1/2" GYPSUM BOARD
FL2		4" POURED CONCRETE FLOOR (REINFORCED WITH W.W.M.) 6mil POLY VAPOUR BARRIER GRAVEL BASE TO MATCH FOOTING THICKNESS
R1		SHINGLES - SELF SEALING 1/2" PLYWOOD SHEATHING c/w 1" CLIPS PRE-ENG. ROOF TRUSSES @24" O.C. R-60 BLOWN IN INSULATION (R-32 ATTIC) OR SPRAY FOAM INSUL. 6mil POLY (WHERE BATT INSULATION) 1/2" GYPSUM BOARD
FLOOR / ROOF LEGEND GENERAL NOTES		
1. ALL FLOOR/ROOF BOARD TO BE TAPED, SANDED AND PAINTED		









FLOOR PLAN NOTES	
1.	VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK.
2.	ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO BUILDING CODE.
3.	ALL INTERIOR WALL TYPES TO BE "P1" UNLESS OTHERWISE NOTED
4.	VERIFY ALL MEP WORK ON SITE

KEY NOTES	
1.	VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK.
2.	ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO BUILDING CODE.
3.	ALL OPENINGS TO HAVE (2) 2x8 LINTEL UNLESS OTHERWISE NOTED.

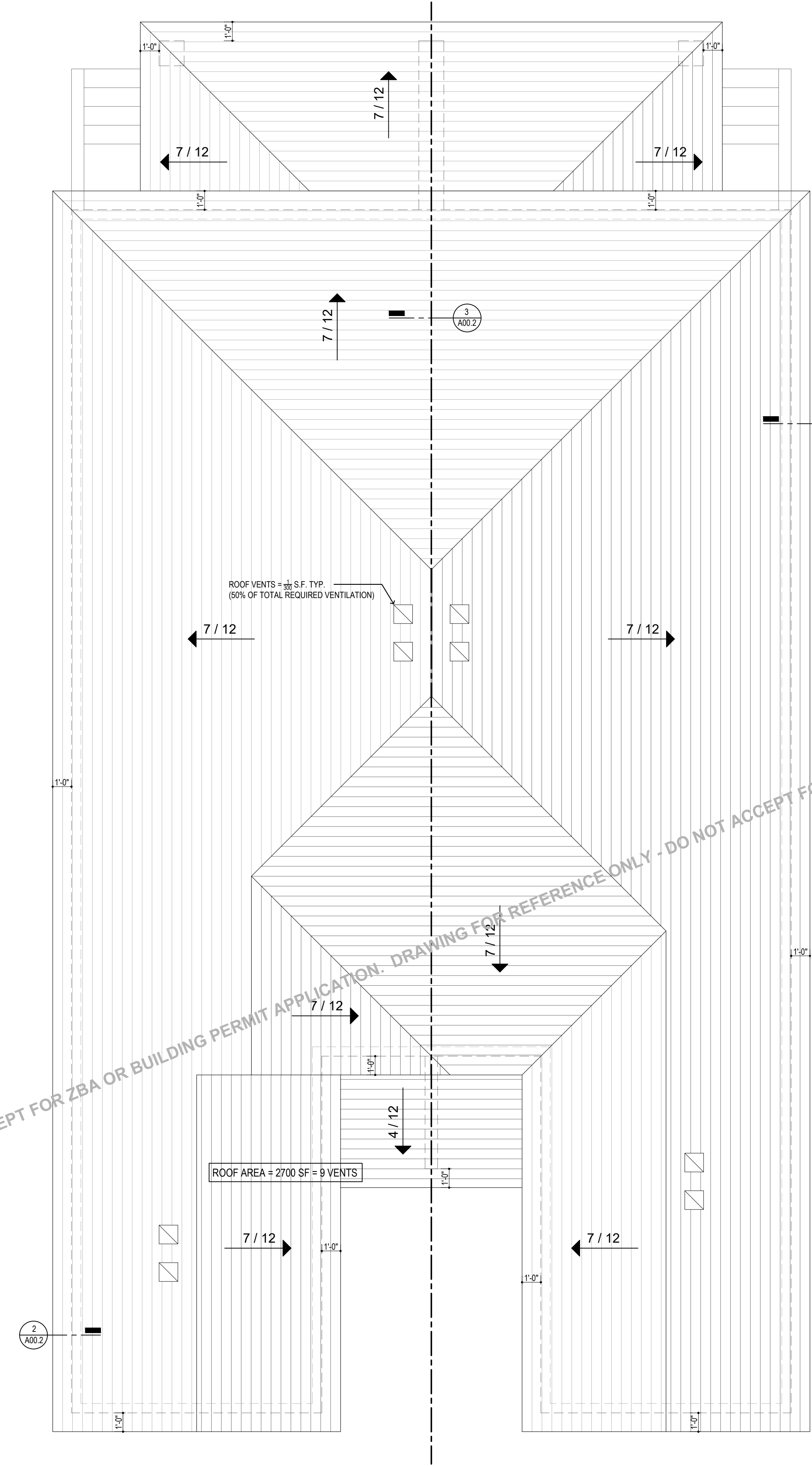
MARK	WALL / PARTITION LEGEND	DESCRIPTION
W1		EIFS as per MAUNF. GC TO COORDINATE) 1 1/2" RIDGED INSUL. AIR BARRIER 7/8" O.S.B. or approved equal 2x6 WD STUDS @ 16" o.c. c/w R-22 BATT INSULATION 6 mil POLY VAPOUR BARRIER 3/4" GYPSUM BOARD
W2		BRICK/STONE VENEER 1" AIRSPACE AIR BARRIER 3/4" PLYWOOD 2x6 STUD WALL @16" O.C. w/R22 BATT INSULATION or 2x4 STUD WALL @16" O.C. w/R12 BATT INSULATION 6mil POLY VAPOUR BARRIER 1 1/2" GYPSUM BOARD
W3		4" FACE BRICK c/w BRICK TIES 1" AIR SPACE AIR BARRIER 7/8" O.S.B. or approved equal 2x4 STUDS @ 16" o.c. MIN. R-22 BATT INSULATION 2x4 STUDS @ 16" O.C. 6 mil POLY. VAPOUR BARRIER 3/4" GYPSUM BOARD
W4		DRAINAGE LAYER DAMP PROOFING 8" POURED CONCRETE (20MPa min.) R-10 RIGID INSULATION 2x4 STUDS @ 16" o.c. MIN. R-12 BATT INSULATION 6 mil POLY. VAPOUR BARRIER 3/4" GYPSUM BOARD (OPTIONAL)
W5		5/8" TYPE 'X' GYPSUM BOARD RESILIENT CHANNEL ON 2x4" STUDS @ 16" o.c. w/ BATT R-22 INSUL. 1" AIR SPACE 2x4" STUDS @ 16" o.c. w/ BATT INSULATION RESILIENT CHANNEL ON 3/8" TYPE 'X' GYPSUM BOARD
W6		5/8" TYPE 'X' GYPSUM BOARD 2 ROWS 2x4 STUDS @ 16" o.c. WALLS ON SEPARATE 2x4 SILL PLATES w/1" MIN. AIR GAP 3-1/2" ABSORPTIVE MATERIAL (ON EACH SIDE) 3/8" TYPE 'X' GYPSUM BOARD
P1		1/2" GYPSUM BOARD 2x4 STUD WALL @16" O.C. 1/2" GYPSUM BOARD ★ DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING
P2		1/2" GYPSUM BOARD 2x6 STUD WALL @16" O.C. 1/2" GYPSUM BOARD ★ DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING

WALL / PARTITION LEGEND GENERAL NOTES	
1.	ALL WALL TYPE DESCRIPTIONS COMMENCES FROM THE EXTERIOR FACE TO THE INTERIOR FACE OF THE WALL CAVITY.
2.	ALL VET AREAS WHERE GYPSUM BOARD IS PRESENT SHALL BE EQUIPPED WITH MOISTURE RESISTANT GYPSUM BOARD.
3.	PROVIDE AND INSTALL ALL EXTERIOR FINISHES, TRIMS & FLASHING AS PER MANUF. RECOMMENDATIONS.
4.	PROVIDE FOUNDATION WATERPROOFING AT ALL WALLS ABUTTING BASEMENT AREAS.
5.	ALL MASONRY VENEERS TO HAVE CODE COMPLIANT WEEP HOLES (9.20.13.18), FLASHING (9.20.13.11) AND WALL TIES (9.20.9.5)
6.	ALL GYPSUM BOARD TO BE TAPED, SANDED AND PAINTED

MARK	FLOOR / ROOF LEGEND	DESCRIPTION
FL1		FLOOR FINISH T.B.D. 3/4" TAG PLYWOOD SUB FLOOR 2x10 FLOOR JOISTS @12" OR 16" O.C. (SEE PLANS) 3/4" GYPSUM BOARD
FL2		
R1		SHINGLES - SELF SEALING 1/2" PLYWOOD SHEATHING @1/4" CLIPS 8x16x8 ROOF TRUSSES @24" O.C. R-60 BLOWN IN INSULATION (R-32 ATTIC) OR SPRAY FOAM INSUL. 6ml POLY (WHERE BATT INSULATION) 3/4" GYPSUM BOARD

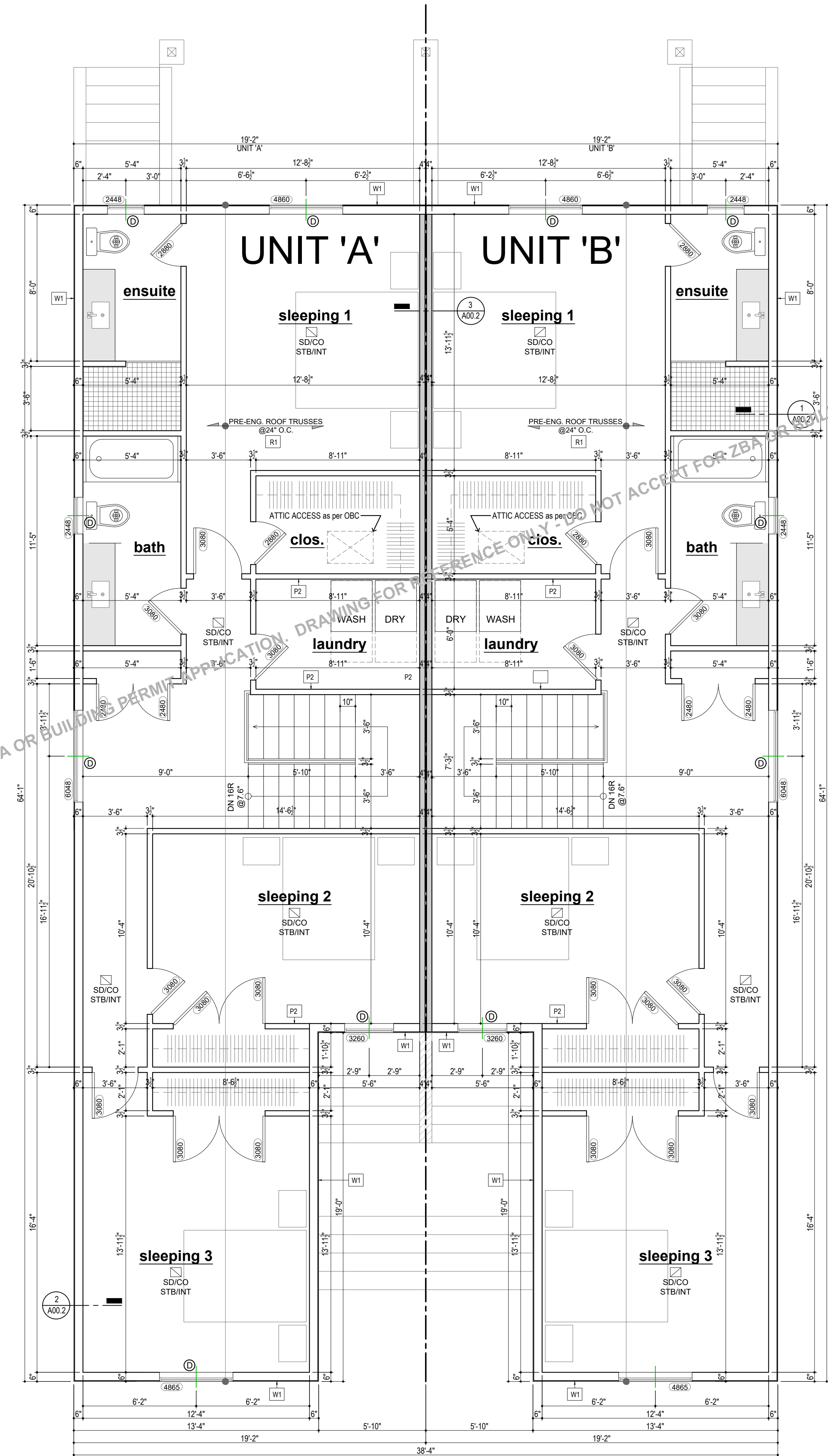
FLOOR / ROOF LEGEND GENERAL NOTES	
1.	ALL GYPSUM BOARD TO BE TAPED, SANDED AND PAINTED

2 ROOF PLAN  
A01.2 1/4" = 1'



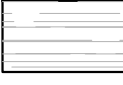

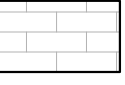
LINTEL SCHEDULE (EXTERIOR)				LINTEL SCHEDULE (INTERIOR)				EXTERIOR WALL STUDS w/BRICK			EXTERIOR WALL STUDS w/SLIDING			STEEL LINTEL SCHEDULE			LEGEND		
MAX. SPAN				MAX. SPAN				STUD LENGTH			STUD LENGTH			DOCK STEEL (FOR ROOF SUPPORT) - EXTERIOR ANGLES FOR BRICK OR CONCRETE (FOR SLIDING)			LINTEL SIZE		
LINTEL SIZE	ROOF + CEILING	ROOF + CEILING	AND STOREY	ROOF + CEILING	ROOF + CEILING	AND STOREY	AND STOREY	13-0"	SUPPORTING 2x6 @ 12"	SUPPORTING 16-0" @ ROOF	13-0"	SUPPORTING 2x6 @ 12"	SUPPORTING 16-0" @ ROOF	13-0"	SUPPORTING 2x6 @ 12"	SUPPORTING 16-0" @ ROOF	3" x 30" x 1/2"	S.P. STL	3" x 3" x 1/2" HSS STEEL POST
2-2x4	4'-11"	2'-2"	2'-2"	2-2x4	2'-2"	2'-2"	2'-2"	13-7"	2x6 @ 12"	2x6 @ 12"	13-7"	2x6 @ 12"	2x6 @ 12"	13-0"	2x6 @ 12"	2x6 @ 12"	7-0" OR LESS	S.P.	SUPPORT REQUIRED (3) 2x6 OR (4) 2x4
2-2x6	6'-4"	4'-0"	4'-0"	2-2x6	4'-0"	3'-3"	2'-10"	15-0"	2x6 @ 12"	2x6 @ 12"	15-0"	2x6 @ 12"	2x6 @ 12"	15-0"	2x6 @ 12"	2x6 @ 12"	7-0" OR LESS	E.F.	EXHAUST FAN w/ NON-COMBUSTIBLE DUCTWORK
2-2x8	7'-2"	5'-0"	5'-0"	2-2x8	5'-0"	4'-0"	2'-10"	16-4"	2x6 @ 12"	2x6 @ 12"	16-4"	2x6 @ 12"	2x6 @ 12"	16-4"	2x6 @ 12"	2x6 @ 12"	8'-0" OR LESS		
2-2x10	9'-0"	7'-0"	7'-0"	2-2x10	6'-7"	6'-0"	4'-2"	17-3"	2x6 @ 12"	2x6 @ 12"	17-3"	2x6 @ 12"	2x6 @ 12"	17-3"	2x6 @ 12"	2x6 @ 12"	10'-0" OR LESS		
2-2x12	10'-11"	9'-0"	7'-6"	2-2x12	7'-7"	7'-0"	4'-2"	18-3"	2x6 @ 12"	2x6 @ 12"	18-3"	2x6 @ 12"	2x6 @ 12"	18-3"	2x6 @ 12"	2x6 @ 12"	10'-0" OR LESS		
NOTE THE SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE BASED ON A-1 AND 0.1 C.B.C.				NOTE THE SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE BASED ON A-1 AND 0.1 C.B.C.				ASSUMES 15 WIND SPEED PRESSURE AND 1.5 WIND SNOW LOAD (BASED ON A-1 AND 0.1 C.B.C.)			ASSUMES 15 WIND SPEED PRESSURE AND 1.5 WIND SNOW LOAD (BASED ON A-1 AND 0.1 C.B.C.)			DOCK STEEL (FOR ROOF SUPPORT) - EXTERIOR ANGLES UNLESS NOTED OTHERWISE ON THE PLANS OR DETAILS					

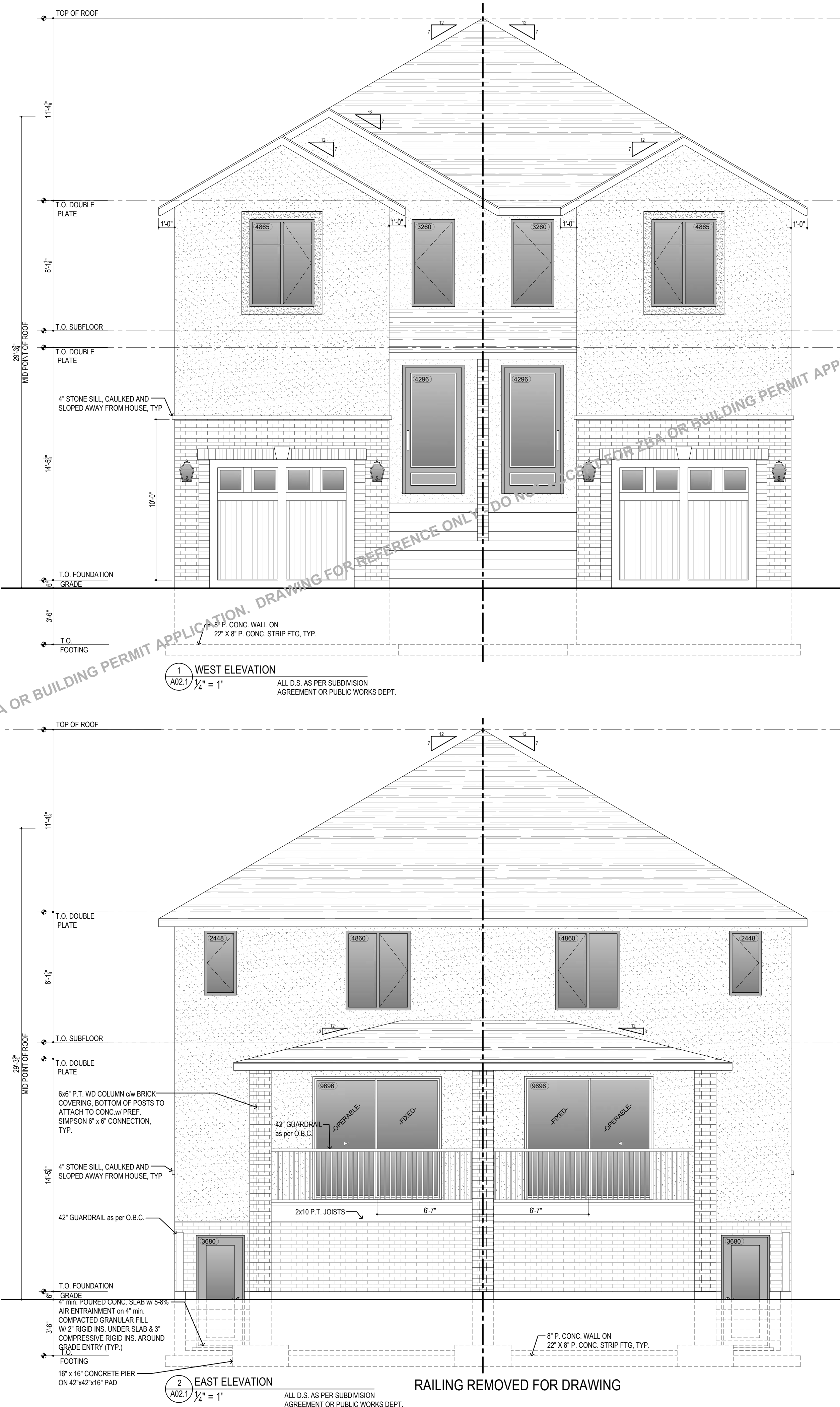
1 UPPER FLOOR PLAN 1118 SF  
A01.2 1/4" = 1'



GLAZING OPENINGS IN BUILDING FACE			
ELEVATION	BUILDING FACE (SF)	GLAZING (SF)	GLAZING %
WEST	986 SF	280 SF	28%
SOUTH	1486 SF	103 SF	6 %
EAST	889 SF	204 SF	22%
NORTH	1486 SF	103 SF	6%
TOTAL	4847 SF	690 SF	14%

EXTERIOR ELEVATION NOTES	
1.	ALL EXTERIOR FINISHES AS PER EXTERIOR MATERIAL FINISHES SCHEDULE OR EQUAL APPROVED.
2.	ALL EXTERIOR FINISHES INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS
3.	ALL EXTERIOR TRIMS, SILLS AND FLASHING TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.
4.	EXISTING GRADING TO BE COORDINATED w/OWNER/G.C.
5.	NEW OPENING ELEVATION TO BE SET BY TOWNSHIP

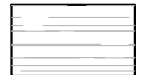

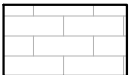
EXTERIOR MATERIAL FINISHES SCHEDULE	
	Shingles
	Stucco
	Brick

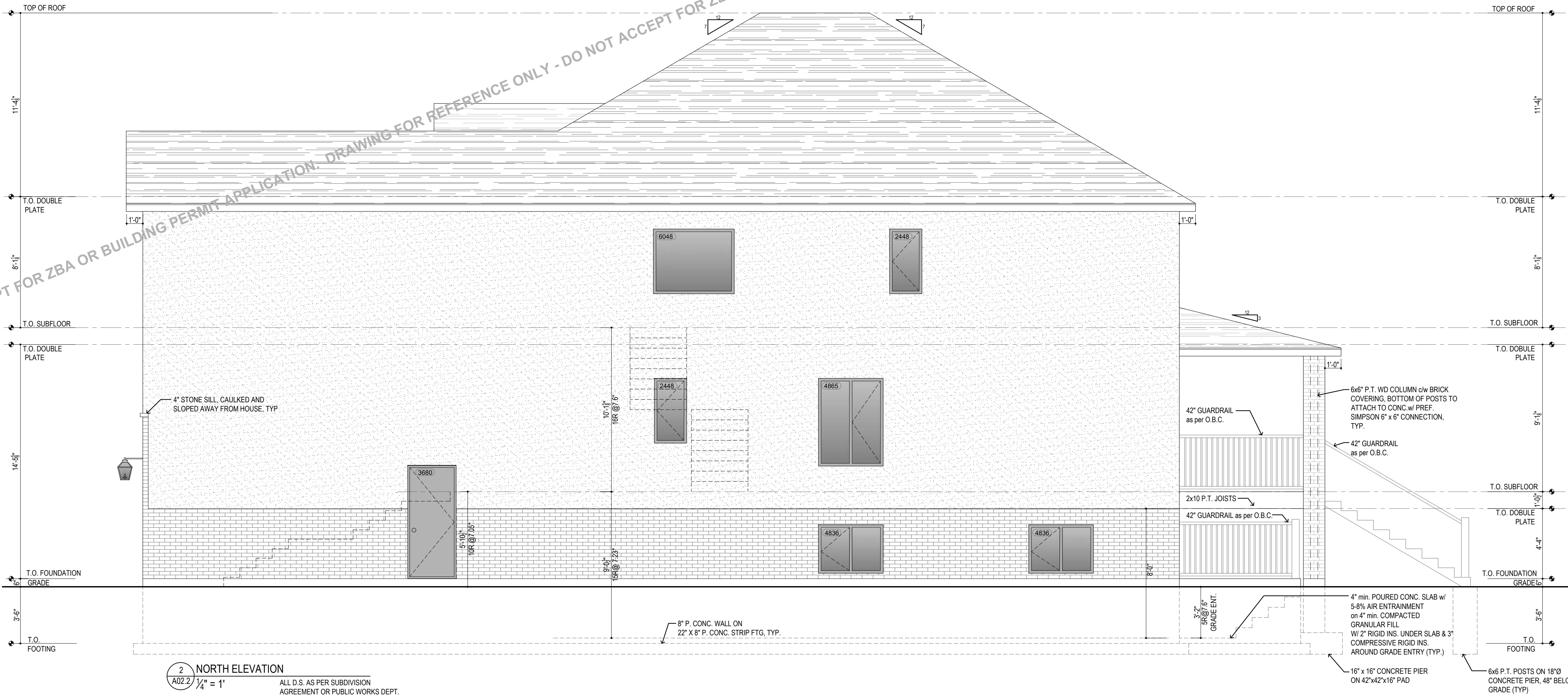
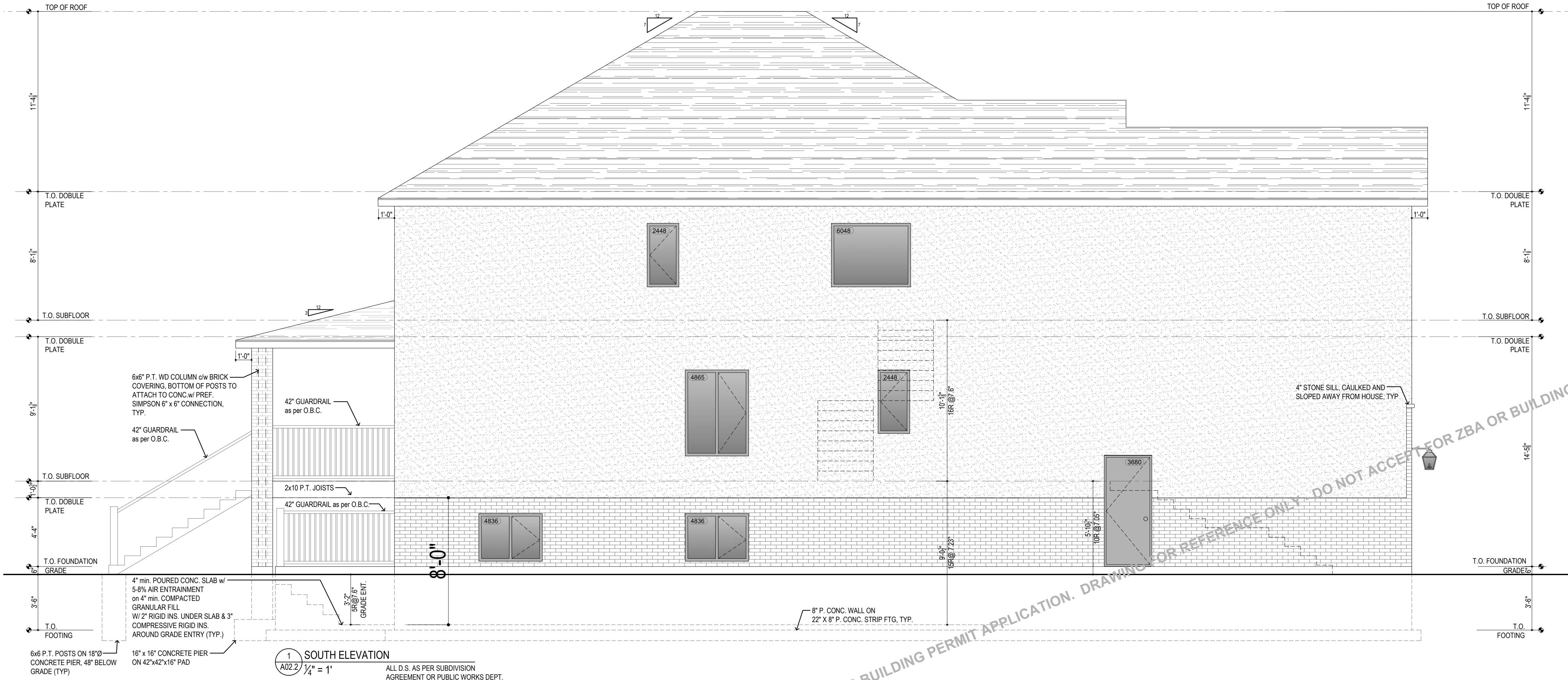




GLAZING OPENINGS IN BUILDING FACE			
ELEVATION	BUILDING FACE (SF)	GLAZING (SF)	GLAZING %
WEST	986 SF	280 SF	28%
SOUTH	1486 SF	103 SF	6 %
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NORTH	1486 SF	103 SF	6%
TOTAL	4847 SF	690 SF	14%

EXTERIOR ELEVATION NOTES			
1.	ALL EXTERIOR FINISHES AS PER EXTERIOR MATERIAL FINISHES SCHEDULE OR EQUAL APPROVED.		
2.	ALL EXTERIOR FINISHES INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS		
3.	ALL EXTERIOR TRIMS, SILLS AND FLASHING TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.		
4.	EXISTING GRADING TO BE COORDINATED w/OWNER/G.C.		
5.	NEW OPENING ELEVATION TO BE SET BY TOWNSHIP		

EXTERIOR MATERIAL FINISHES SCHEDULE			
			
Shingles	Stucco	Brick	



DRAWING FOR REFERENCE ONLY - DO NOT ACCEPT FOR ZBA OR BUILDING PERMIT APPLICATION. DRAWING FOR REFERENCE ONLY - DO NOT ACCEPT FOR ZBA OR BUILDING PERMIT APPLICATION. DRAWING FOR REFERENCE ONLY - DO NOT ACCEPT FOR ZBA OR BUILDING PERMIT APPLICATION.



GENERAL NOTES	
1.	ALL CONSTRUCTION TO COMPLY WITH THE GENERAL NOTES AND/OR THE CURRENT ONTARIO BUILDING CODE, FIRE CODE, PLUMBING CODE, ELECTRICAL CODE AND/OR LOCAL BY-LAWS. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.
2.	WINDOW AND DOOR SIZES ARE SHOWN FOR REFERENCE ONLY. GENERAL CONTRACTOR SHALL CONSULT MANUFACTURER SPECIFICATIONS FOR ALL EXACT ROUGH OPENING SIZES AND GLAZING DIMENSIONS PRIOR TO CONSTRUCTION. LOCATION, HEAD HEIGHTS AND SILL HEIGHTS TO BE CONFIRMED ON SITE BY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.
3.	WOOD WALL AND FLOOR FRAMING SHALL COMPLY WITH OBC PART 9 EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED ON DRAWINGS
4.	WOOD ROOF FRAMING SHALL COMPLY WITH OBC SECTION 9.23.13 EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE NOTED ON DRAWINGS
5.	MINIMUM FOOTING DEPTH SHALL BE 4'-0" BELOW FINISHED GRADE. UNDER-FLOOR SPACE SHALL COMPLY WITH OBC 9.18.
6.	PERMIT APPLICANT TO SUBMIT EITHER A TRUSS DESIGN DATA SHEET OR THE COMPLETE TRUSS DESIGN DRAWINGS FOR ANY PRE-ENGINEERED ROOF TRUSSES OR GIRDERS
7.	ALL ATTICS ARE DESIGNED AS NON-STORAGE UNLESS OTHERWISE NOTED
8.	PROVIDE INSULATION TO MEET OBC 9.25.2 AND SB-12. ALL EXTERIOR WALLS TO BE MINIMUM R24.
9.	PROVIDE RIGID INSULATION AT ALL PERIMETER SLAB ON GRADE CONDITIONS
10.	DAMP-PROOFING AND WATER-PROOFING SHALL COMPLY WITH OBC SECTION 9.13.
11.	ALL BRICK OR MASONRY LEDGES SHALL BE A MINIMUM OF 6" ABOVE FINISHED GRADE.
12.	GRADING SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE BUILDING AT EVERY POINT WHERE THE BUILDING MEETS FINISHED GRADE.
13.	VENTILATION OF CONCEALED ROOF SPACES SHALL BE MAINTAINED
14.	ELECTRICAL SYSTEM DESIGN IS BY OTHERS.
15.	MECH & HVAC SYSTEM DESIGN IS BY OTHERS
16.	PLUMBING DESIGN IS BY OTHERS
17.	DO NOT SCALE DRAWINGS.
18.	G.C. TO CONFIRM REQUIREMENTS FOR ZONING, SETBACK, AND ENVIRONMENTAL RESTRICTIONS PRIOR TO CONSTRUCTION.
19.	THESE DWGS ARE FOR MIN. BUILDING PERMIT ONLY AND DO NOT GIVE ALL DETAILS FOR COMPLETE BUILDING PROCESS. G.C. IS RESPONSIBLE FOR ALL OTHER DETAILS INFO, ENG. STAMPS FOR CONC. REINF. PORCHES OR POINT LOADING DIAGRAMS, LINTEL DESIGNS, BEAM REINFORCEMENT NEEDED FOR BUILDING PERMIT PROCESS IF REQUESTED BY LOCAL MUNICIPAL AUTHORITIES
20.	THIS CONSULTANT IS UNAWARE OF ANY SOIL BEARING CAPACITY PROBLEMS. THIS CONSULTANT HAS ADVISED OWNER TO INVOLVE A GEOTECHNICAL CONSULTANT THROUGHOUT CONSTRUCTION TO ADVISE CONSULTANT OF ALL SUBSURFACE CAPACITIES. IF ANY SOIL PROBLEMS EXIST, THE OWNER MUST HIRE A ENG. TO SOLVE THESE PROBLEMS AND PAY FOR ALL FEES AND EXTRA MATERIALS DURING THIS TIME.
21.	G.C. MUST HIRE ONT. LAND SURVEYOR TO PLACE HOME ON SITE AND SET ELEVATIONS FOR EXCAVATIONS AND PRODUCE A COMPLETE GRADING PLANS FOR OWNERS AND LOCAL AUTHORITIES APPROVAL
22.	DESIGNER IS NOT HIRED NOR RESPONSIBLE FOR CONSTRUCTION REVIEW DURING CONSTRUCTION. ANY INTERIOR OR EXTERIOR MODIFICATIONS MADE BY G.C. DURING CONSTRUCTION MUST BE REPORTED TO THIS CONSULTANT. IF NOT THE DESIGNER WILL NOT TAKE ANY RESPONSIBILITY FOR ERRORS MADE DURING CONSTRUCTION INCURRING COST TO THE DESIGNER.
23.	G.C. MUST CHECK ALL DIMENSION OF PLANS AND FIELD DIM. PRIOR TO ORDERING PRE-ENG. TRUSSES AND REPORT AND DIFFERENCES TO THIS DESIGNER IN WRITING IMMEDIATELY PRIOR TO ERECTION AND FABRICATION OF TRUSSES
24.	ALL DIMENSIONS ON PLANS ARE SHOWN IN NOMINAL DIMENSIONS FOR EASE OF CONSTRUCTION AND ADDING OF FRACTIONS
25.	G.C. IS RESPONSIBLE FOR DEVELOPER APPROVAL OF ALL DESIGNS. PRIOR TO WORKING DWGS STARTED.
26.	G.C. IS RESPONSIBLE TO ALSO REVIEW TRUSS SHOP DWGS AND APPROVE AND UNDERSTAND ALL CONSTRUCTION METHODS AND DETAILS OF PRELIM. ROOF SHOP DWGS AND APPROVE PRIOR TO SUBMITTING PERMIT DWGS BY THIS DESIGNER.
27.	G.C. IS RESPONSIBLE TO KEEP ALL DESIGN COMPONENTS AND LAYOUT THE SAME AS PER THESE DWGS. FAILURE TO DO SO VOIDS THESE DWGS AND FIELD MEASUREMENTS AND MUST BE DONE TO SIT ON SITE CONDITIONS. THIS CONTRACTOR MUST PAY FOR THESE REVISIONS.
28.	EXTERIOR FINISHES AND FINISHING SYSTEMS ARE FOR DEMONSTRATION. G.C. MAY USE APPROVED FINISHES AND FINISHING SYSTEMS THAT MEET MINIMUM CODE. DESIGNER MUST BE INFORMED AND APPROVE CHANGES FROM DEMONSTRATED FINISHES AND FINISHING SYSTEMS.
29.	EXTERIOR FINISHES, WINDOWS, DOORS SIZES AND STYLES, KITCHEN LAYOUTS, BATH LAYOUTS, AND BASEMENT DESIGNS ARE THIS DESIGNERS RENDERING OF WHAT THE HOUSE CAN INCLUDE. GENERAL CONTRACTORS CONTACT SHALL SUPERCEDE IN ALL ABOVE MENTIONED CATEGORIES AS LONG AS THEY MEET O.B.C. G.C. TO INFORM DESIGNER OF ANY DIFFERENCES TO THIS PLAN.

GENERAL NOTES	
FOOTINGS AND SLABS	
•	FOOTINGS AND FOUNDATIONS TO COMPLY WITH O.B.C. SECTION 9.15
•	SLABS TO COMPLY WITH O.B.C. SECTION 9.16
•	CONCRETE FOUNDATION WALLS TO COMPLY WITH O.B.C. SECTION 9.15
•	CONCRETE FOUNDATION WALLS TO COMPLY WITH O.B.C. SECTION 9.15
•	ATTACHED GARAGES SHALL COMPLY WITH O.B.C. SECTION 9.26
•	MASONRY VENEER WALLS
•	MASONRY VENEER WALLS SHALL COMPLY WITH O.B.C. SECTION 9.20
•	WOOD FRAMING
•	WOOD FRAMING SHALL COMPLY WITH O.B.C. SECTION 9.23
•	ROOF CONSTRUCTION
•	ROOF CONSTRUCTION SHALL COMPLY WITH O.B.C. SECTION 9.26
•	BASEMENT
•	PROVIDE 0.2% MINIMUM OF UNFINISHED BASEMENT FLOOR AREA, UNOBSTRUCTED VENTILATION AREA TO THE OUTDOORS
•	DOORS AND WINDOWS
•	DOORS AND WINDOWS SHALL COMPLY WITH O.B.C. SECTION 9.5
•	FLASHING
•	FLASHING SHALL COMPLY WITH O.B.C. SECTIONS 9.26, 9.27
•	INSULATION AND VAPOUR BARRIERS
•	INSULATION SHALL COMPLY WITH O.B.C. SECTION 9.7.6
•	VAPOUR BARRIERS SHALL COMPLY WITH O.B.C. SECTION 9.25
•	FIRE SEPARATION
•	FIRE SEPARATION SHALL COMPLY WITH O.B.C. SECTION 9.10
•	CHIMNEY AND FLUES
•	CHIMNEY AND FLUES SHALL COMPLY WITH O.B.C. SECTION 9.21
•	NATURAL AND MECHANICAL VENTILATION
•	NATURAL AND MECHANICAL VENTILATION SHALL COMPLY WITH O.B.C. SECTION 9.22
•	SMOKE ALARMS
•	SMOKE ALARMS SHALL COMPLY WITH O.B.C. SECTION 9.10

GENERAL NOTES	
1.	THESE GENERAL NOTES REFER TO ALL ARCHITECTURAL DRAWINGS
2.	THE ONTARIO BUILDING CODE LATEST EDITION SHALL BE THE BASIS FOR THE DESIGN AND CONSTRUCTION FOR THIS PROJECT
3.	WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
4.	GENERAL CONTRACTOR TO VERIFY ALL SITE CONDITIONS PRIOR TO HOME CONSTRUCTION.
5.	CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE CONSULTANTS MUST BE NOTIFIED IN WRITING OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS.
6.	CONTRACTOR SHALL PROMPTLY NOTIFY THE CONSULTANT IN WRITING OF THE EXISTENCE OF ANY OBSERVED VARIANCES BETWEEN THE DOCUMENTS AND APPLICABLE CODES OR ORDINANCES OR REGULATORY AGENCIES
7.	CONSULTANT WILL NOT BE HELD RESPONSIBLE FOR ANY OMISSIONS TO, ERRORS PERTAINING TO, OR DEVIATIONS FROM THIS SET OF DRAWINGS DURING THE CONSTRUCTION PROCESS.
8.	SPECIFIC NOTES AND SPECIFIC DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTE AND TYPICAL DETAILS.
9.	THE CONTRACTOR SHALL OBTAIN ANY ALL NECESSARY PERMITS AND ARRANGE FOR ALL REQUIRED INSPECTIONS AS REQUIRED BY GOVERNING LAWS.
10.	ALL COLOURS FOR MATERIAL SPECIFIED WITHIN THESE DRAWINGS SHALL BE CHOSEN BY CLIENT FROM SAMPLES PROVIDED BY CONTRACTOR.
11.	THESE PRINTS ARE THE PROPERTY AND DESIGN THIS DESIGNER. THE DESIGNER RESERVES THE RIGHT TO REPRODUCE THE SAME HOUSE AT NO BENEFIT TO THE PURCHASER OF THIS HOME.

CONSTRUCTION NOTES	
1.	DOWNSPOUTS MAY CONNECT AT HARD SURFACES ONLY
2.	EXHAUST FANS AND DUCTS SHALL BE SIZED ACCORDING TO O.B.C. PART 6 OR 9.32. ALL FANS SHALL EXHAUST DIRECTLY OUTDOORS. KITCHEN EXHAUST FAN SHALL BE NON-COMBUSTIBLE PIPE
3.	PROVIDE AN ATTIC ACCESS HATCH THAT IS MIN 34 FT² WITH NO DIMENSION LESS THAN 21.5" OR 20" x 28" MIN
4.	ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO 9.8, O.B.C.
5.	GARAGE ENTRY DOOR SHALL BE TIGHT-FITTING, WEATHER STRIPPED AND SELF CLOSING TO PROVIDE A GAS PROOF SEAL
6.	ANY CHANGES TO THE BACKFILL HEIGHT DURING CONSTRUCTION MUST BE APPROVED BY THE CBO.
7.	SMOKE DETECTORS REQUIRED IN EACH SLEEPING ROOM & HALLWAY AS PER 9.10.19.3. of O.B.C.
8.	ALL HVAC, PLUMBING AND ELECTRICAL DEPICTED AND OR LOCATED ON THIS DRAWING ARE THIS DESIGNERS INTERPRETATION AND ARE SUBJECT TO CHANGE. G.C. TO CONFIRM ALL LOCATIONS
9.	THE OWNER IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF CONC. STAIRS, CONC. PORCH, HANDRAILS, AND GRADING ASSOCIATED WITH REAR COVERED PORCH. THE CONTRACTOR IS NOT RESPONSIBLE UNLESS EXPLICITLY STATED IN THE BUILDING CONTRACT.
10.	THIS DESIGNER HAS STAMPED AND REVIEWED THESE DRAWINGS, BUT IS NOT RESPONSIBLE FOR UNFORESEEN SITE CONDITIONS. THIS DESIGNER IS NOT RESPONSIBLE FOR ERCA, EASEMENTS, SITE PLAN CONTROL, DEVELOPMENT CONDITIONS, AND LOT RESTRICTIONS.
11.	THE GENERAL CONTRACTOR MAY / CAN CHANGE ANY DOORS, WINDOWS, MATERIALS, OR EXTERIOR DETAILS TO MEET THE CONTRACT BETWEEN THE G.C. AND HIS/HER CLIENT. THE G.C. IS TO NOTIFY THIS DESIGNER OF ANY CHANGES THAT ARE MADE TO THESE DRAWINGS.
12.	G.C. TO CONFIRM WALL SYSTEM TO INCLUDE NO LOW PERMEANCE MATERIALS as per 9.25.5.1. of O.B.C. OTHERWISE G.C. MUST ENSURE WALL ASSEMBLY MEETS 9.25.5.2 OF O.B.C.

1.	VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK.
2.	ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO BUILDING CODE.
3.	ALL INTERIOR WALL TYPES TO BE CONFIRMED, UNLESS OTHERWISE NOTED
4.	VERIFY ALL MEP WORK ON SITE

FLOOR PLAN NOTES	
1.	VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK.
2.	ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO BUILDING CODE.
3.	ALL INTERIOR WALL TYPES TO BE CONFIRMED, UNLESS OTHERWISE NOTED
4.	VERIFY ALL MEP WORK ON SITE

EXTERIOR ELEVATION NOTES	
1.	ALL EXTERIOR FINISHES AS PER EXTERIOR MATERIAL FINISHES SCHEDULE OR EQUAL APPROVED.
2.	ALL EXTERIOR FINISHES INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS
3.	ALL EXTERIOR TRIMS, SILLS AND FLASHING TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.

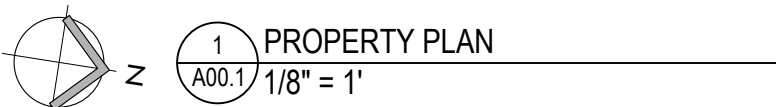
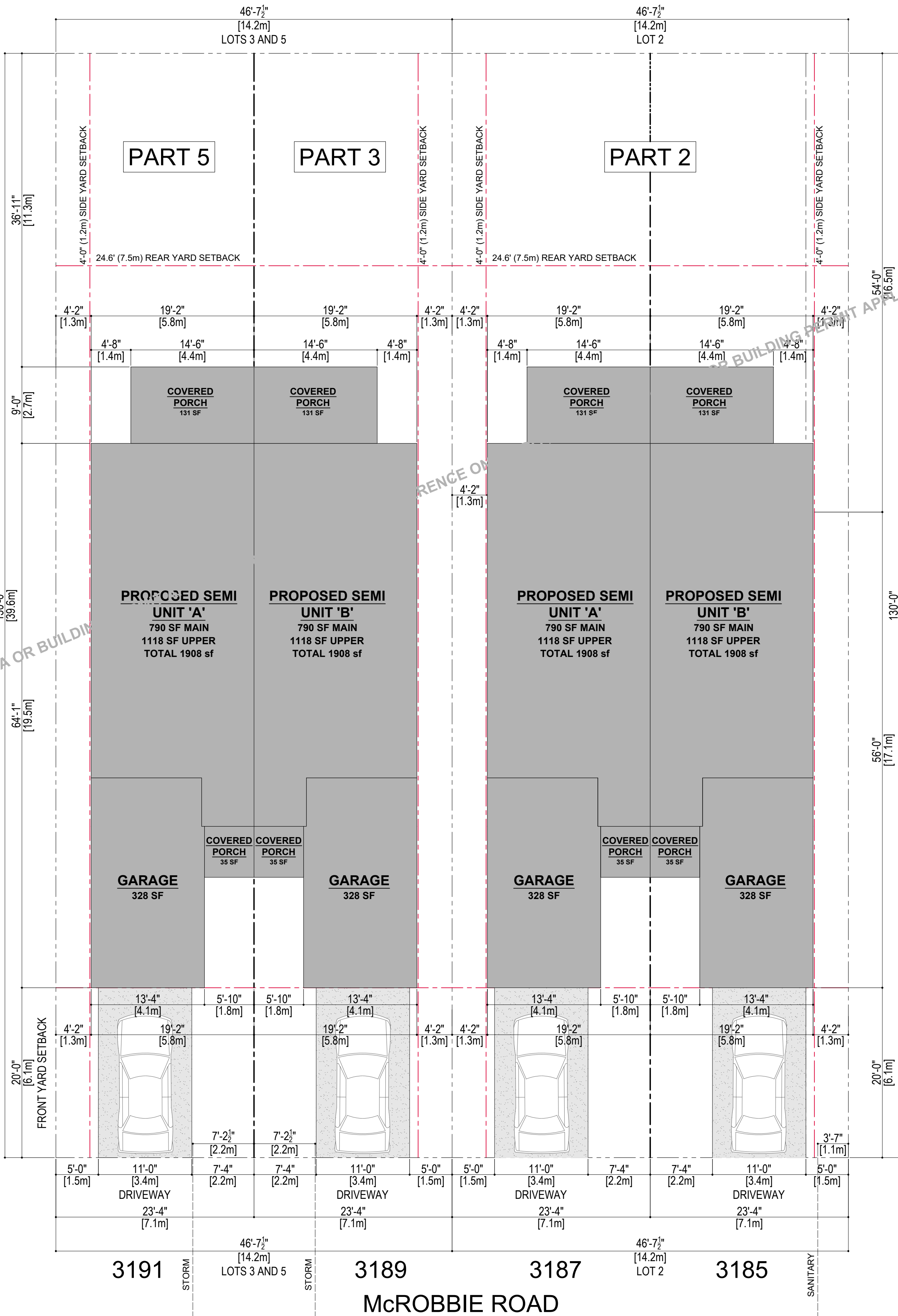
SITE INFO		
ADDRESS	LOT NUMBER	LOT AREA
<b>PART 2</b>  <b>3185 &amp; 3187 McRobbie Windsor, ON</b>	<b>PART 2</b>	<b>6063 ± SF</b>
	ZONING	ALLOWABLE COVERAGE
	<b>RD2.2 (Requested)</b>	<b>2728 SF (45%)</b>
	PROPOSED COVERAGE	<b>2564 SF (42.3%)</b>
BUILDING AREAS UNIT 'A' AND 'B' - COMBINED		
DWELLING	<b>1580 SF</b>	<b>146.79 m²</b>
GARAGE	<b>652 SF</b>	<b>60.57 m²</b>
FRONT PORCH	<b>70 SF</b>	<b>6.5 m²</b>
REAR PORCH	<b>262 SF</b>	<b>24.34 m²</b>
TOTAL LOT COVERAGE	<b>2564 SF (42.3%)</b>	<b>238.2 m² (42.3%)</b>

BUILDING AREAS					
UNIT 'A'			UNIT 'B'		
MAIN	<b>790 SF</b>	<b>73.39 m²</b>	MAIN	<b>790 SF</b>	<b>73.39 m²</b>
BASEMENT	<b>790 SF</b>	<b>73.39 m²</b>	BASEMENT	<b>790 SF</b>	<b>73.39 m²</b>
UPPER	<b>1118 SF</b>	<b>103.87 m²</b>	UPPER	<b>1118 SF</b>	<b>103.87 m²</b>
GARAGE	<b>326 SF</b>	<b>30.29 m²</b>	GARAGE	<b>326 SF</b>	<b>30.29 m²</b>
FRONT PORCH	<b>35 SF</b>	<b>3.25 m²</b>	FRONT PORCH	<b>35 SF</b>	<b>3.25 m²</b>
REAR PORCH	<b>131 SF</b>	<b>12.17 m²</b>	REAR PORCH	<b>131 SF</b>	<b>12.17 m²</b>
TOTAL G.F.A.	<b>1908 SF</b>	<b>177.26 m²</b>	TOTAL G.F.A.	<b>1908 SF</b>	<b>177.26 m²</b>

FRONT YARD		
TOTAL FRONT YARD AREA	<b>466 SF</b>	<b>43.29 m²</b>
HARD SURFACE (Driveway and sidewalks)	<b>220 SF</b>	<b>20.43 m²</b>
LANDSCAPED AREA	<b>246 SF (52.3%)</b>	<b>22.85 m²</b>
PARKING SPACES	<b>2 (1) GARAGE, (1) DRIVEWAY FOR EACH UNIT</b>	

INDEX OF DRAWINGS	
A00.1	SITE PLAN, ROOF PLAN & NOTES
A00.2	BUILDING SECTIONS
A01.1	FOUNDATION AND MAIN FLOOR
A01.2	MAIN AND UPPER FLOOR PLANS
A02.1	ELEVATIONS
A02.2	ELEVATIONS

SITE PLAN NOTES	
1.	THIS DESIGNER IS NOT RESPONSIBLE FOR ERCA, EASEMENTS, SITE PLAN CONTROL, APPROVALS AND DEVELOPMENTAL SITE CONDITIONS, AND LOT RESTRICTIONS.
2.	THIS PLAN IS NOT A LEGAL SURVEY. ALL DIMENSIONS SHOULD BE VERIFIED BY AN O.L.S. THIS SITE PLAN IS PROVIDED AS A GUIDE TO LOCATE THE BUILDING
SITE PLAN LEGEND	
	SETBACKS
	PROPERTY LINES
	Proposed Build
	Hard Surfaces

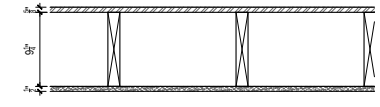
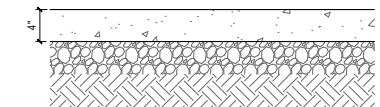
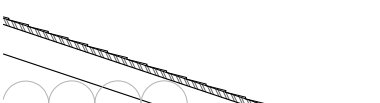




MARK	WALL / PARTITION LEGEND	DESCRIPTION
W1		EIFS as per MAUNF. GC TO COORDINATE) 1 1/2" RIDGED INSUL. AIR BARRIER 7/8" O.S.B. or approved equal 2x6 WD STUDS @ 16" o.c. c/w R-22 BATT INSULATION 6 mil POLY VAPOUR BARRIER 5/8" GYPSUM BOARD
W2		BRICK/STONE VENEER 1" AIRSPACE AIR BARRIER 3/4" PLYWOOD 2x6 STUD WALL @16" o.c. w/R22 BATT INSULATION or 2x4 STUD WALL @16" o.c. w/R12 BATT INSULATION 6mil POLY VAPOUR BARRIER 1 1/2" GYPSUM BOARD
W3		4" FACE BRICK c/w BRICK TIES 1" AIR SPACE AIR BARRIER 7/8" O.S.B. or approved equal 2x4 STUDS @ 16" o.c. MIN. R-22 BATT INSULATION 2x4 STUDS @16" o.c. 6 mil POLY. VAPOUR BARRIER 5/8" GYPSUM BOARD
W4		DRAINAGE LAYER DAMP PROOFING 8" POURED CONCRETE (20MPa min.) R-10 RIGID INSULATION 2x4 STUDS @ 16" o.c. MIN. R-12 BATT INSULATION 6 mil POLY VAPOUR BARRIER 5/8" GYPSUM BOARD (OPTIONAL)
W5		5/8" TYPE 'X' GYPSUM BOARD RESILIENT CHANNEL ON 2x4" STUDS at 16" o.c. w/ BATT R-22 INSUL. 1" AIR SPACE 2x4" STUDS at 16" o.c. w/ BATT INSULATION RESILIENT CHANNEL ON 5/8" TYPE 'X' GYPSUM BOARD
W6		5/8" TYPE 'X' GYPSUM BOARD 2 ROWS 2x4 STUDS at 16" o.c. WALLS ON SEPARATE 2x4 SILL PLATES w/ MIN. AIR GAP 3-1/2" ABSORPTIVE MATERIAL (ON EACH SIDE) 5/8" TYPE 'X' GYPSUM BOARD
P1		12" GYPSUM BOARD 2x4 STUD WALL @16" O.C. 12" GYPSUM BOARD  ★ DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING
P2		12" GYPSUM BOARD 2x6 STUD WALL @16" O.C. 12" GYPSUM BOARD  ★ DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING

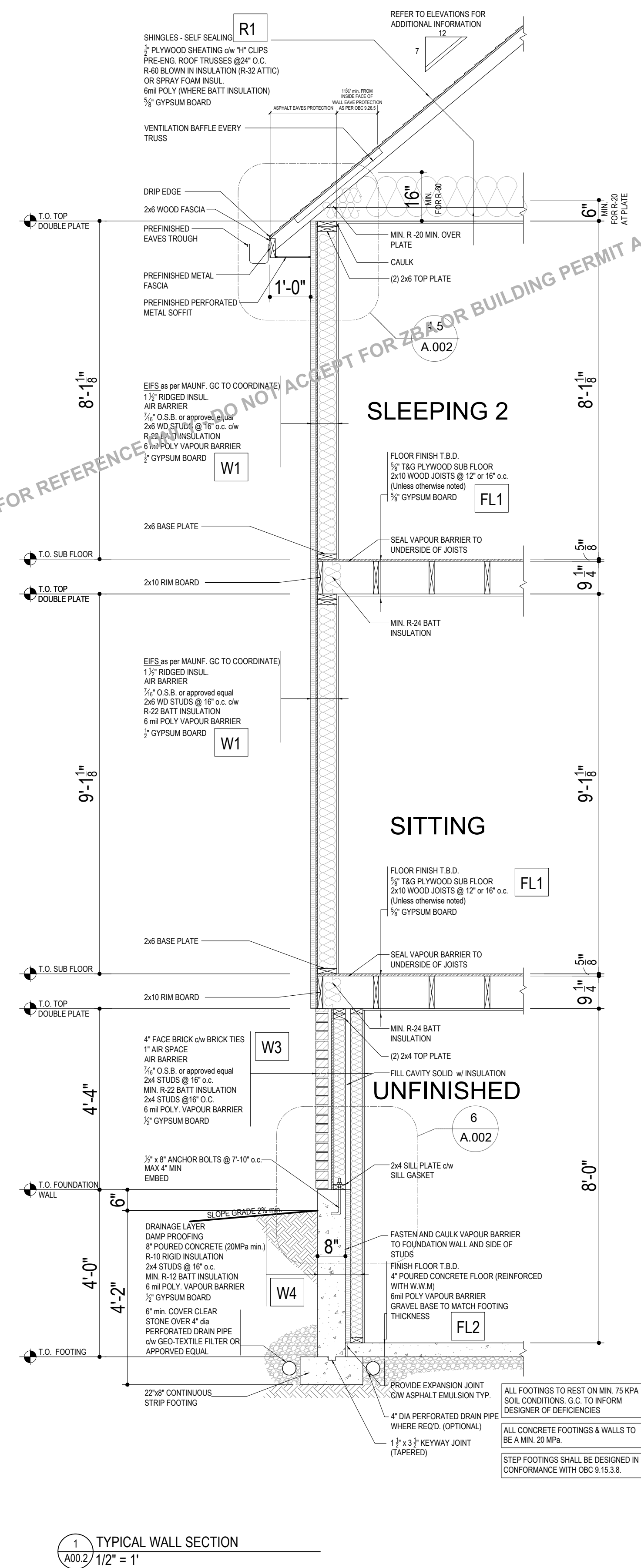
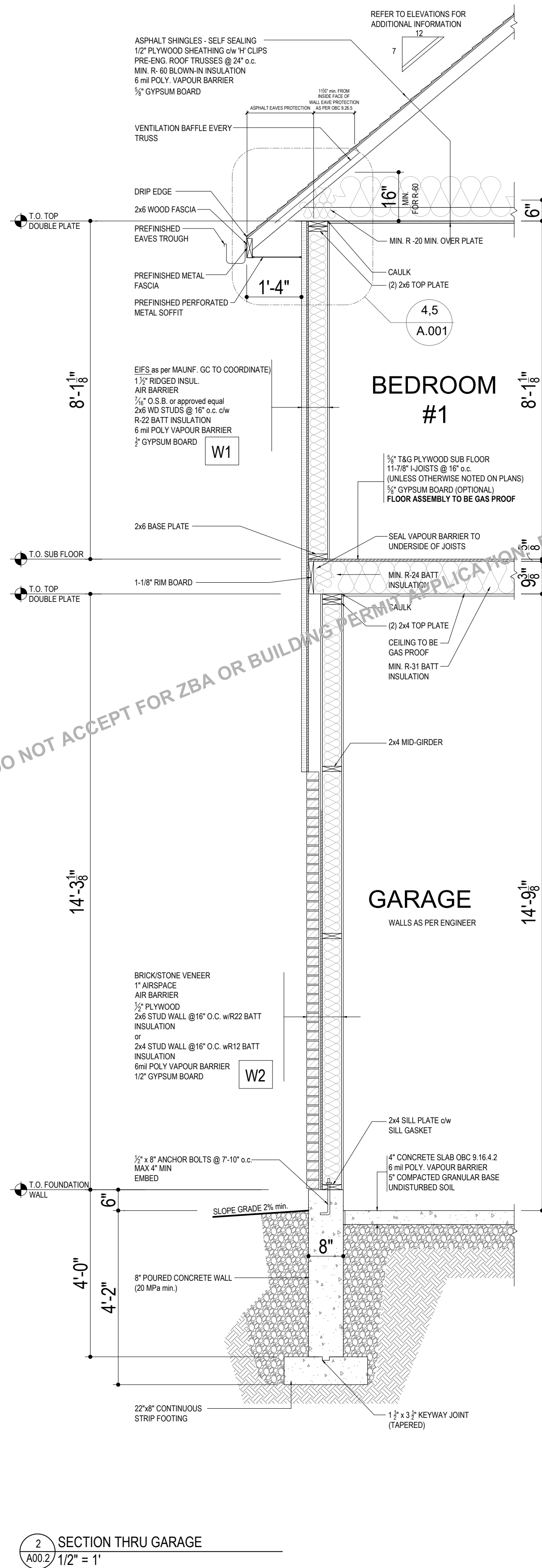
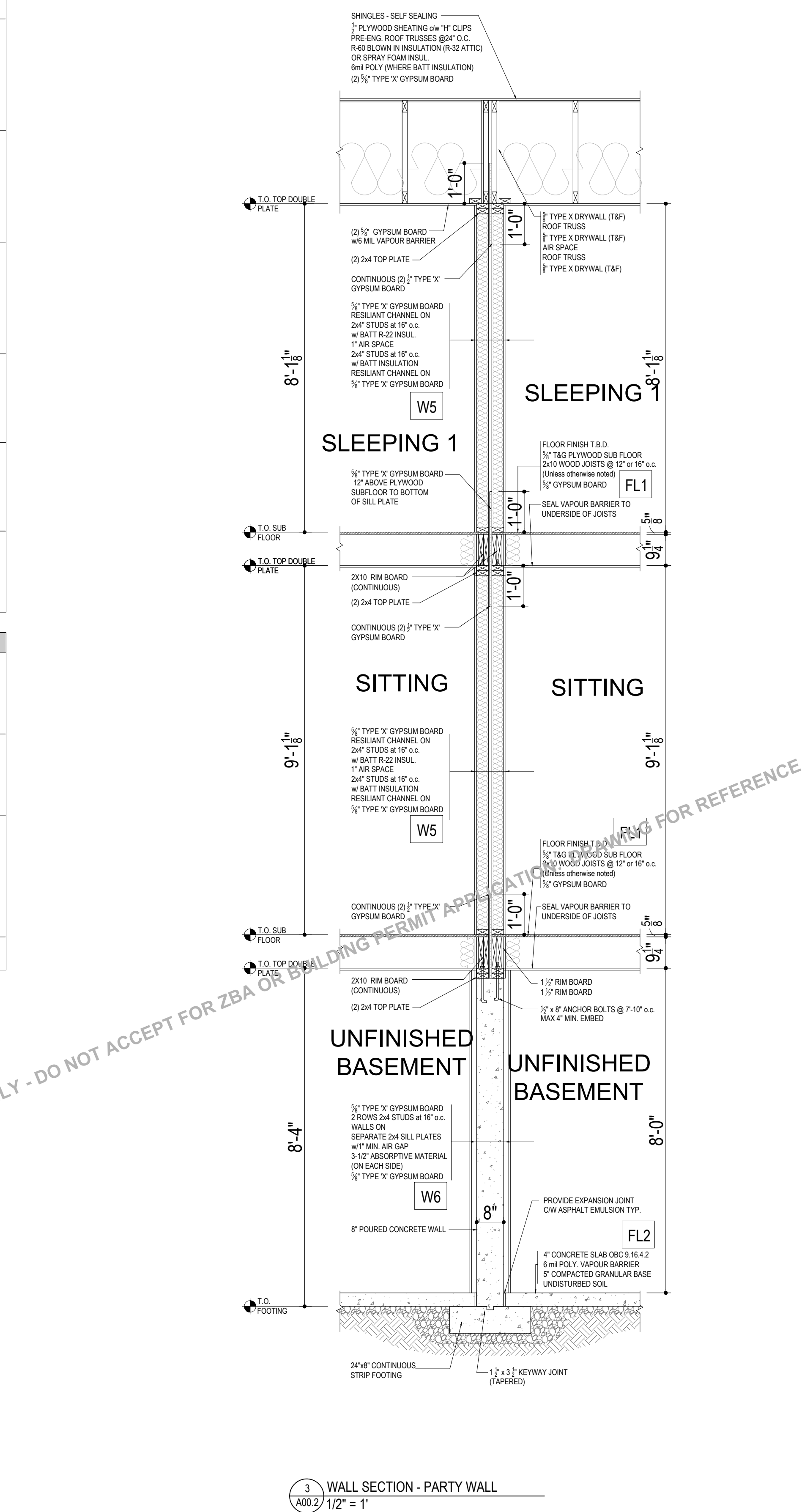
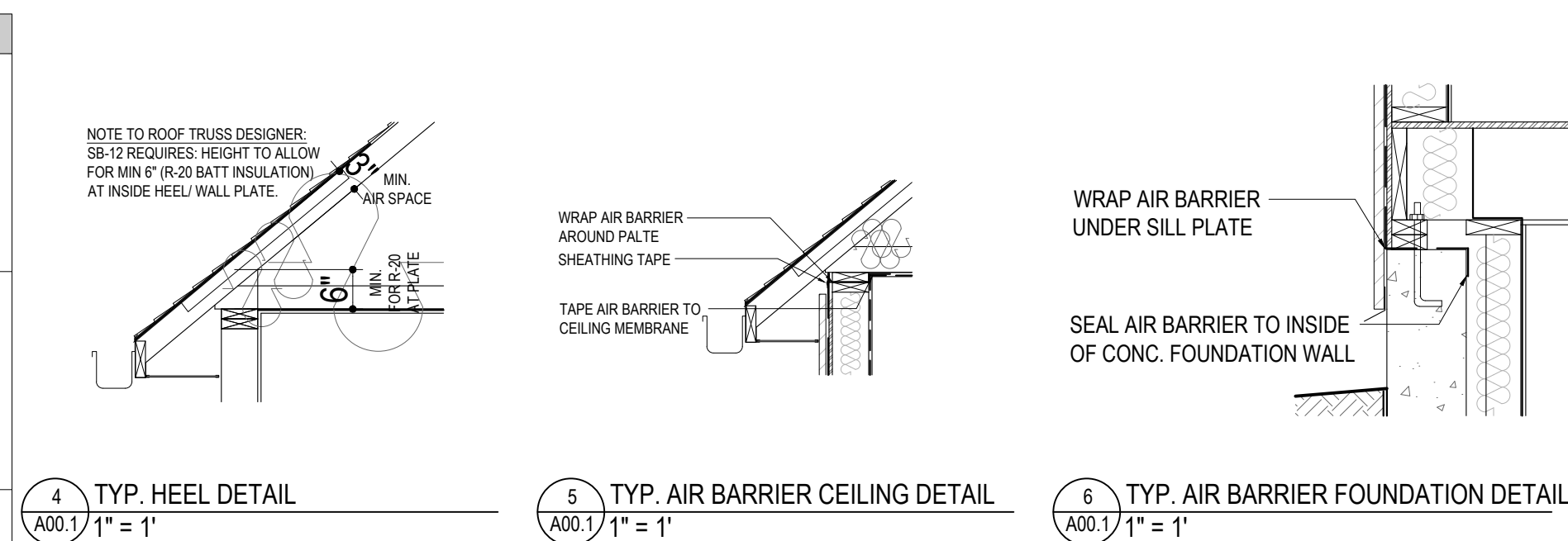
**WALL / PARTITION LEGEND GENERAL NOTES**

- ALL WALL TYPE DESCRIPTIONS COMMENCES FROM THE EXTERIOR FACE TO THE INTERIOR FACE OF THE WALL CAVITY.
- ALL WET AREAS WHERE GYPSUM BOARD IS PRESENT SHALL BE EQUIPPED w/MOISTURE RESISTANT GYPSUM BOARD.
- PROVIDE AND INSTALL ALL EXTERIOR FINISHES, TRIMS & FLASHING AS PER MANUAL RECOMMENDATIONS.
- PROVIDE FOUNDATION WATERPROOFING AT ALL WALLS ADJUTING BASEMENT AREAS.
- ALL MASONRY VENEERS TO HAVE CODE COMPLIANT WEERPLENS (9.20.1.13), FLASHING (9.20.1.31) AND WALL TIES (9.20.9.5)
- ALL GYPSUM BOARD TO BE TAPED, SANDED AND PAINTED

MARK	FLOOR / ROOF LEGEND	DESCRIPTION
FL1		FLOOR FINISH T.B.D. ½" T&G PLYWOOD SUB FLOOR 2x10 FLOOR JOISTS @12" OR 16" O.C. (SEE PLANS) ½" GYPSUM BOARD
FL2		4" POURED CONCRETE FLOOR (REINFORCED WITH W.W.M.) 6mil POLY VAPOR BARRIER GRAVEL BASE TO MATCH FOOTING THICKNESS
R1		SHINGLES - SELF SEALING ½" PLYWOOD SHEATHING c/w 1" CLIPS PRE-ENG. ROOF TRUSSES @24" O.C. R-60 BLOWN IN INSULATION (R-32 ATTIC) OR SPRAY FOAM INSUL. 6mil POLY (WHERE BATT INSULATION) ½" GYPSUM BOARD

FLOOR / ROOF LEGEND GENERAL NOTES

1. ALL GYPSUM BOARD TO BE TAPED, SANDED AND PAINTED





FLOOR PLAN NOTES	
1.	VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK.
2.	ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO BUILDING CODE.
3.	ALL INTERIOR WALL TYPES TO BE "P1" UNLESS OTHERWISE NOTED
4.	VERIFY ALL MEP WORK ON SITE

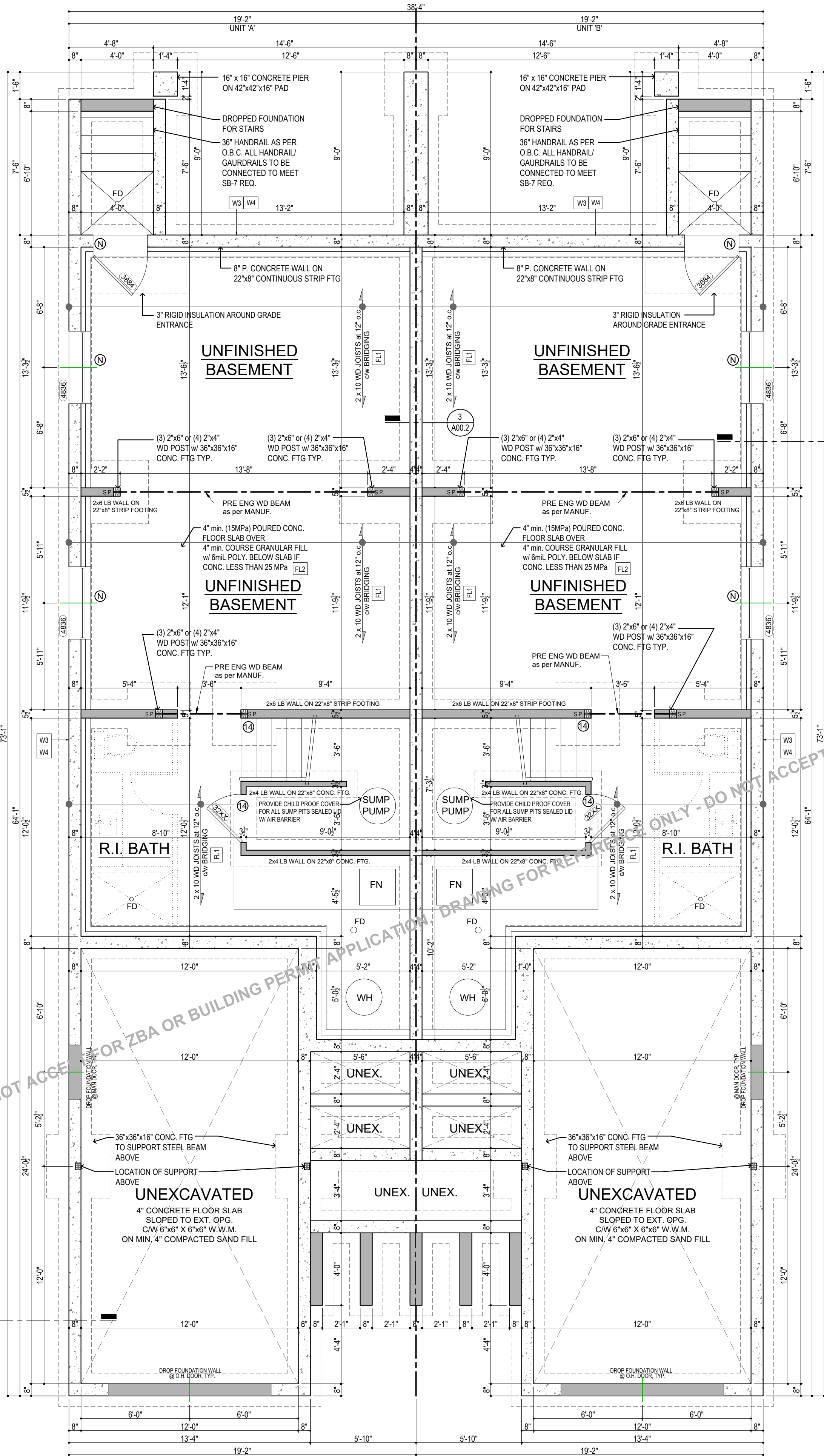
KEY NOTES	
1.	VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK.
2.	ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO BUILDING CODE.
3.	ALL OPENINGS TO HAVE (2) 2x6 LINTEL UNLESS OTHERWISE NOTED.

MARK	WALL / PARTITION LEGEND	DESCRIPTION
W1		EIFS as per MANUF. GC TO COORDINATE) 1/2" RIGID INSUL. AIR BARRIER 7/8" O.S.B. or approved equal 2x6 WD STUDS @ 16" o.c. c/w R-22 BATT INSULATION 6 mil POLY VAPOUR BARRIER 1/2" GYPSUM BOARD
W2		BRICKSTONE VENEER 1" AIRSPACE AIR BARRIER 1/2" PLYWOOD 2x6 STUD WALL @ 16" o.c. w/R22 BATT INSULATION 2x4 STUD WALL @ 16" o.c. w/R22 BATT INSULATION 6 mil POLY VAPOUR BARRIER 1/2" GYPSUM BOARD
W3		4" FACE BRICK c/w BRICK TIES 1" AIRSPACE AIR BARRIER 7/8" O.S.B. or approved equal 2x4 STUDS @ 16" o.c. MIN. R-22 BATT INSULATION 2x4 STUDS @ 16" o.c. 6 mil POLY. VAPOUR BARRIER 1/2" GYPSUM BOARD
W4		DRAINAGE LAYER DAMP PROOFING 8" POURED CONCRETE (20MPa min.) R-10 RIGID INSULATION 2x4 STUDS @ 16" o.c. MIN. R-12 BATT INSULATION 6 mil POLY. VAPOUR BARRIER 1/2" GYPSUM BOARD (OPTIONAL)
W5		3/4" TYPE 'X' GYPSUM BOARD RESILIENT CHANNEL ON 2x4" STUDS @ 16" o.c. w/ BATT R-22 INSUL. 1" AIRSPACE 2x4" STUDS @ 16" o.c. w/ BATT INSULATION RESILIENT CHANNEL ON 3/4" TYPE 'X' GYPSUM BOARD
W6		3/4" TYPE 'X' GYPSUM BOARD 2 ROWS 2x4 STUDS @ 16" o.c. WALLS ON SEPARATE 2x4 SILL PLATES w/1" MIN. AIR GAP 3-1/2" ABSORPTIVE MATERIAL (ON EACH SIDE) 3/4" TYPE 'X' GYPSUM BOARD
P1		1/2" GYPSUM BOARD 2x4 STUD WALL @ 16" o.c. 1/2" GYPSUM BOARD ★ DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING
P2		1/2" GYPSUM BOARD 2x4 STUD WALL @ 16" o.c. 1/2" GYPSUM BOARD ★ DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING

WALL / PARTITION LEGEND GENERAL NOTES	
1.	ALL WALL TYPE DESCRIPTIONS COMMENCES FROM THE EXTERIOR FACE TO THE INTERIOR FACE OF THE WALL CAVITY.
2.	ALL VET. AREAS WHERE GYPSUM BOARD IS PRESENT SHALL BE EQUIPPED W/MOISTURE RESISTANT GYPSUM BOARD.
3.	PROVIDE AND INSTALL ALL EXTERIOR FINISHES, TRIMS & FLASHING AS PER MANUF. RECOMMENDATIONS.
4.	PROVIDE FOUNDATION WATERPROOFING AT ALL WALLS ABUTTING BASEMENT AREAS.
5.	ALL MASONRY VENEERS TO HAVE CODE COMPLIANT WEEDHOLES (9.20.13.18), FLASHING (9.20.13.11) AND WALL TIES (9.20.9.5)
6.	ALL GYPSUM BOARD TO BE TAPED, SANDED AND PAINTED

MARK	FLOOR / ROOF LEGEND	DESCRIPTION
FL1		FLOOR FINISH T.B.D. 3/4" T&G PLYWOOD SUB FLOOR 2x10 FLOOR JOISTS @ 12" or 16" o.c. (SEE PLANS) 1/2" GYPSUM BOARD
FL2		3/4" T&G PLYWOOD SUB FLOOR 2x10 FLOOR JOISTS @ 12" or 16" o.c. (SEE PLANS) 1/2" GYPSUM BOARD
R1		SHINGLES - SELF SEALING 3/4" PLYWOOD SHEATHING c/w 1" CLIPS 1x6x6x16 INSULATION (R-32 ATTIC) OR SPRAY FOAM INSUL. 6 mil POLY (WHERE BATT INSULATION) 1/2" GYPSUM BOARD

FLOOR / ROOF LEGEND GENERAL NOTES	
1.	ALL GYPSUM BOARD TO BE TAPED, SANDED AND PAINTED



FOUNDATION PLAN 790 SF  
1/4" = 1'

LINTEL SCHEDULE (EXTERIOR)		LINTEL SCHEDULE (INTERIOR)		EXTERIOR WALL STUDS w/BRICK		EXTERIOR WALL STUDS w/SIDING		STEEL LINTEL SCHEDULE		LEGEND	
LINTEL SIZE	ROOF - CEILING	ROOF - CEILING	ROOF - CEILING	ROOF - CEILING	ROOF - CEILING	ROOF - CEILING	ROOF - CEILING	ROOF - CEILING	ROOF - CEILING	S.P. STL	3" x 3" HSS STEEL POST
2-2x4"	4-11"	2-2x4"	2-2x4"	2-2x4"	2-2x4"	2-2x4"	2-2x4"	2-2x4"	2-2x4"	S.P.	SUPPORT REQUIRED (3) 2x6
2-2x6"	6-4"	2-2x6"	2-2x6"	2-2x6"	2-2x6"	2-2x6"	2-2x6"	2-2x6"	2-2x6"	EX	OR (4) 2x4
2-2x8"	7-8"	2-2x8"	2-2x8"	2-2x8"	2-2x8"	2-2x8"	2-2x8"	2-2x8"	2-2x8"	EF	GRAB BAR SUPPORT REQ'D
2-2x10"	9-0"	2-2x10"	2-2x10"	2-2x10"	2-2x10"	2-2x10"	2-2x10"	2-2x10"	2-2x10"		EXHAUST FAN w/
2-2x12"	10-11"	2-2x12"	2-2x12"	2-2x12"	2-2x12"	2-2x12"	2-2x12"	2-2x12"	2-2x12"		NON-COMBUSTIBLE DUCTWORK

UPPER FLOOR PLAN 790 SF  
1/4" = 1'



FLOOR PLAN NOTES	
1.	VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK.
2.	ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO BUILDING CODE.
3.	ALL INTERIOR WALL TYPES TO BE "P1" UNLESS OTHERWISE NOTED
4.	VERIFY ALL MEP WORK ON SITE

KEY NOTES	
1.	VERIFY IN FIELD FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL WORK.
2.	ALL STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO THE CURRENT VERSION OF PART 9 ONTARIO BUILDING CODE.
3.	ALL OPENINGS TO HAVE (2) 2x8 LINTEL UNLESS OTHERWISE NOTED.

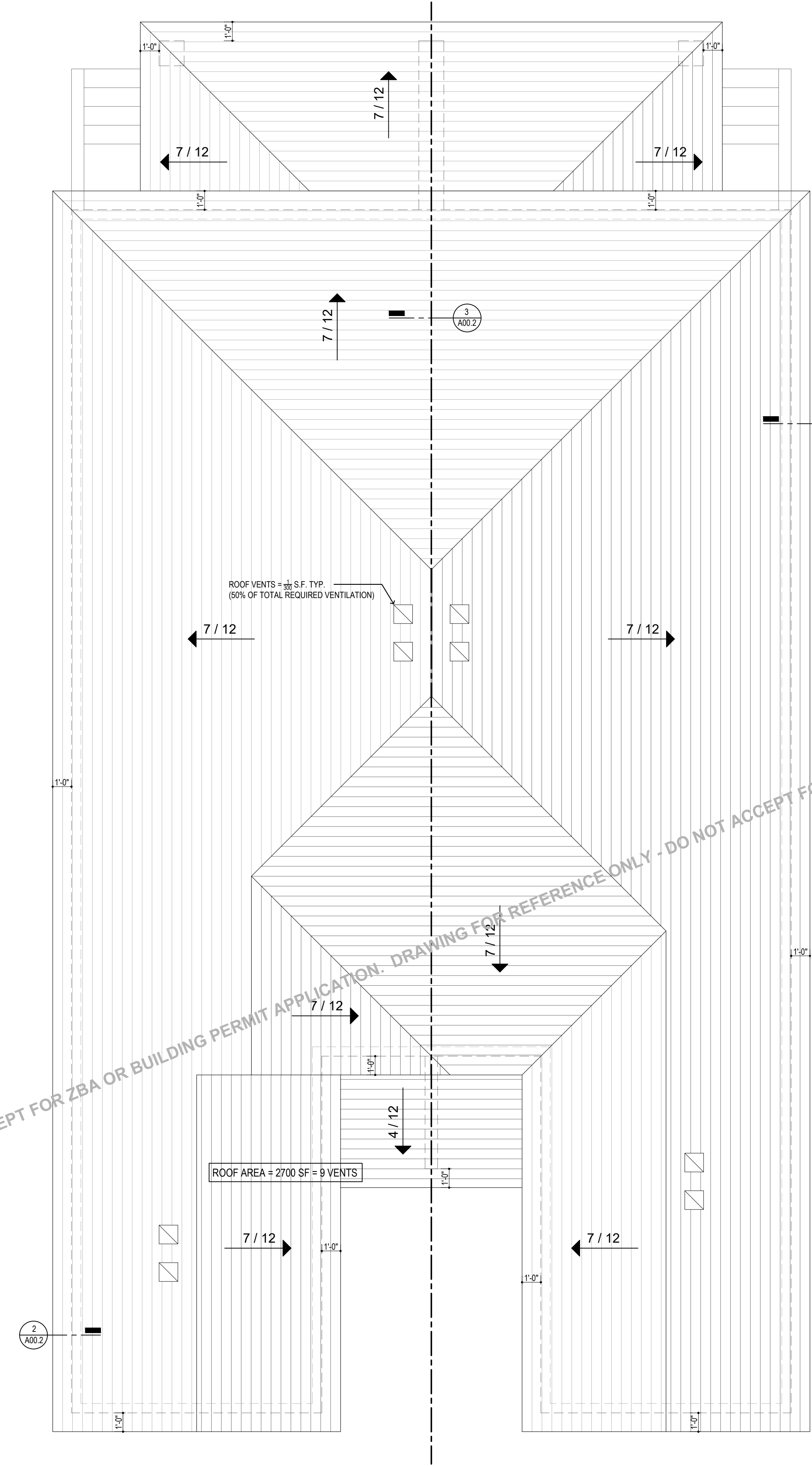
MARK	WALL / PARTITION LEGEND	DESCRIPTION
W1		EIFS as per MAUNF. GC TO COORDINATE) 1 1/2" RIDGED INSUL. AIR BARRIER 7/8" O.S.B. or approved equal 2x6 WD STUDS @ 16" o.c. c/w R-22 BATT INSULATION 6 mil POLY VAPOUR BARRIER 3/4" GYPSUM BOARD
W2		BRICK/STONE VENEER 1" AIRSPACE AIR BARRIER 3/4" PLYWOOD 2x6 STUD WALL @16" O.C. w/R22 BATT INSULATION or 2x4 STUD WALL @16" O.C. w/R12 BATT INSULATION 6mil POLY VAPOUR BARRIER 1 1/2" GYPSUM BOARD
W3		4" FACE BRICK c/w BRICK TIES 1" AIR SPACE AIR BARRIER 7/8" O.S.B. or approved equal 2x4 STUDS @ 16" o.c. MIN. R-22 BATT INSULATION 2x4 STUDS @ 16" O.C. 6 mil POLY. VAPOUR BARRIER 3/4" GYPSUM BOARD
W4		DRAINAGE LAYER DAMP PROOFING 8" POURED CONCRETE (20MPa min.) R-10 RIGID INSULATION 2x4 STUDS @ 16" o.c. MIN. R-12 BATT INSULATION 6 mil POLY. VAPOUR BARRIER 3/4" GYPSUM BOARD (OPTIONAL)
W5		3/4" TYPE 'X' GYPSUM BOARD RESILIENT CHANNEL ON 2x4" STUDS @ 16" o.c. w/ BATT R-22 INSUL. 1" AIR SPACE 2x4" STUDS @ 16" o.c. w/ BATT INSULATION RESILIENT CHANNEL ON 3/8" TYPE 'X' GYPSUM BOARD
W6		3/4" TYPE 'X' GYPSUM BOARD 2 ROWS 2x4 STUDS @ 16" o.c. WALLS ON SEPARATE 2x4 SILL PLATES w/1" MIN. AIR GAP 3-1/2" ABSORPTIVE MATERIAL (ON EACH SIDE) 3/4" TYPE 'X' GYPSUM BOARD
P1		1/2" GYPSUM BOARD 2x4 STUD WALL @16" O.C. 1/2" GYPSUM BOARD ★ DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING
P2		1/2" GYPSUM BOARD 2x6 STUD WALL @16" O.C. 1/2" GYPSUM BOARD ★ DENOTE LOAD BEARING WALL ON 22"x8" POURED CONCRETE FOOTING

WALL / PARTITION LEGEND GENERAL NOTES	
1.	ALL WALL TYPE DESCRIPTIONS COMMENCES FROM THE EXTERIOR FACE TO THE INTERIOR FACE OF THE WALL CAVITY.
2.	ALL WET AREAS WHERE GYPSUM BOARD IS PRESENT SHALL BE EQUIPPED WITH MOISTURE RESISTANT GYPSUM BOARD.
3.	PROVIDE AND INSTALL ALL EXTERIOR FINISHES, TRIMS & FLASHING AS PER MANUF. RECOMMENDATIONS.
4.	PROVIDE FOUNDATION WATERPROOFING AT ALL WALLS ABUTTING BASEMENT AREAS.
5.	ALL MASONRY VENEERS TO HAVE CODE COMPLIANT WEEP HOLES (9.20.13.18), FLASHING (9.20.13.11) AND WALL TIES (9.20.9.5)
6.	ALL GYPSUM BOARD TO BE TAPED, SANDED AND PAINTED

MARK	FLOOR / ROOF LEGEND	DESCRIPTION
FL1		FLOOR FINISH T.B.D. 3/4" TAG PLYWOOD SUB FLOOR 2x10 FLOOR JOISTS @12" OR 16" O.C. (SEE PLANS) 3/4" GYPSUM BOARD
FL2		
R1		SHINGLES - SELF SEALING 1/2" PLYWOOD SHEATHING @4" CLIPS 8x16x8 ROOF TRUSSES @24" O.C. R-60 BLOWN IN INSULATION (R-32 ATTIC) OR SPRAY FOAM INSUL. 6mil POLY (WHERE BATT INSULATION) 3/4" GYPSUM BOARD

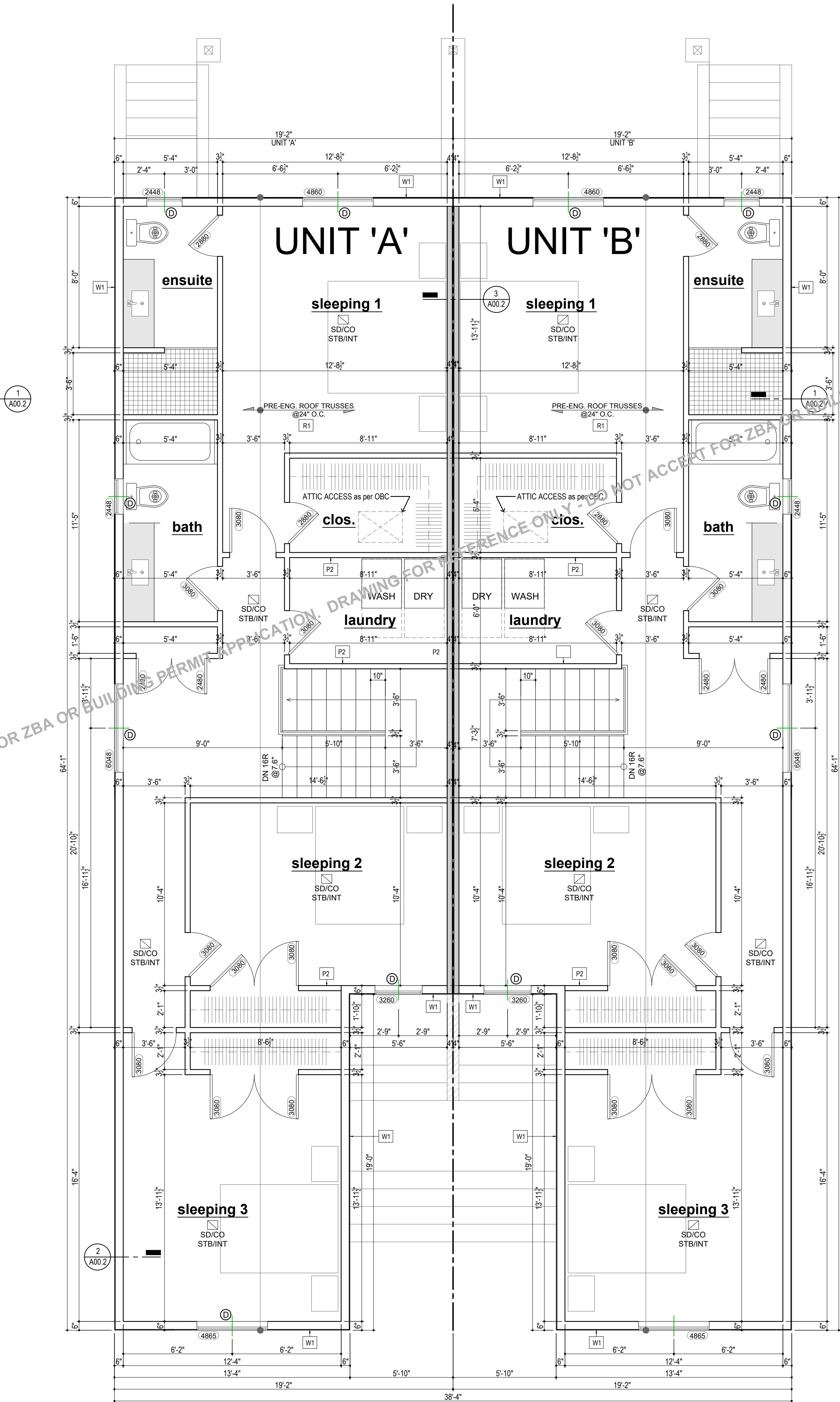
FLOOR / ROOF LEGEND GENERAL NOTES	
1.	ALL GYPSUM BOARD TO BE TAPED, SANDED AND PAINTED

2 ROOF PLAN  
A01.2 1/4" = 1'



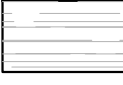

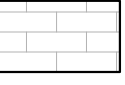
LINTEL SCHEDULE (EXTERIOR)		LINTEL SCHEDULE (INTERIOR)		EXTERIOR WALL STUDS w/BRICK		EXTERIOR WALL STUDS w/SLIDING		STEEL LINTEL SCHEDULE		LEGEND	
LINTEL SIZE	MAX. SPAN	LINTEL SIZE	MAX. SPAN	STUD LENGTH	SUPPORTING	STUD LENGTH	SUPPORTING	STEEL LINTEL SIZE	MAX. CLEAR SPAN	S.P. STL	3\"/>
2-2x4	4'-11\"/>	2-2x4	4'-11\"/>	13'-0\"/>	2x6 @ 12\"/>	13'-0\"/>	2x6 @ 12\"/>	3\"/>	13'-0\"/>	S.P.	3\"/>
2-2x6	6'-4\"/>	2-2x6	6'-4\"/>	13'-0\"/>	2x6 @ 12\"/>	13'-0\"/>	2x6 @ 12\"/>	3\"/>	13'-0\"/>		
2-2x8	8'-0\"/>	2-2x8	8'-0\"/>	13'-0\"/>	2x6 @ 12\"/>	13'-0\"/>	2x6 @ 12\"/>	3\"/>	13'-0\"/>		
2-2x10	9'-0\"/>	2-2x10	9'-0\"/>	13'-0\"/>	2x6 @ 12\"/>	13'-0\"/>	2x6 @ 12\"/>	3\"/>	13'-0\"/>		
2-2x12	10'-11\"/>	2-2x12	10'-11\"/>	13'-0\"/>	2x6 @ 12\"/>	13'-0\"/>	2x6 @ 12\"/>	3\"/>	13'-0\"/>		

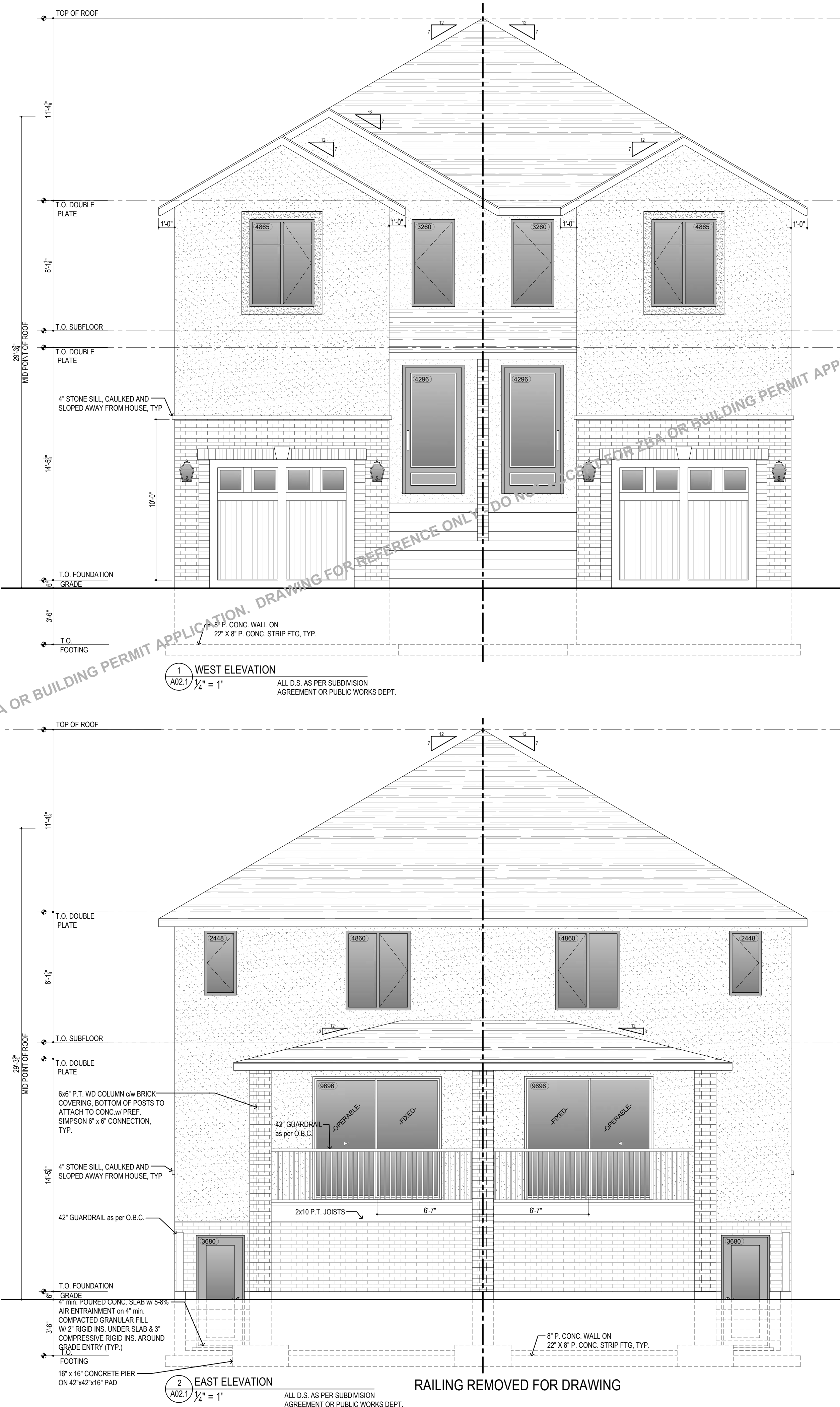
1 UPPER FLOOR PLAN 1118 SF  
A01.2 1/4" = 1'



GLAZING OPENINGS IN BUILDING FACE			
ELEVATION	BUILDING FACE (SF)	GLAZING (SF)	GLAZING %
WEST	986 SF	280 SF	28%
SOUTH	1486 SF	103 SF	6 %
EAST	889 SF	204 SF	22%
NORTH	1486 SF	103 SF	6%
TOTAL	4847 SF	690 SF	14%

EXTERIOR ELEVATION NOTES	
1.	ALL EXTERIOR FINISHES AS PER EXTERIOR MATERIAL FINISHES SCHEDULE OR EQUAL APPROVED.
2.	ALL EXTERIOR FINISHES INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS
3.	ALL EXTERIOR TRIMS, SILLS AND FLASHING TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.
4.	EXISTING GRADING TO BE COORDINATED w/OWNER/G.C.
5.	NEW OPENING ELEVATION TO BE SET BY TOWNSHIP

EXTERIOR MATERIAL FINISHES SCHEDULE	
	Shingles
	Stucco
	Brick



DRAWING FOR REFERENCE ONLY - DO NOT ACCEPT FOR ZBA OR BUILDING PERMIT APPLICATION. DRAWING FOR REFERENCE ONLY - DO NOT ACCEPT FOR ZBA OR BUILDING PERMIT APPLICATION.





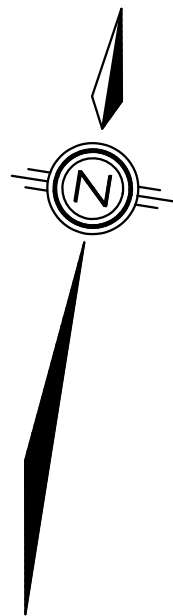
## Appendix D

## INTEGRATION DATA

COORDINATES ARE DERIVED FROM GRID OBSERVATIONS USING THE CAN-NET NETWORK SERVICE AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE) NAD83 (CSRS) (2010.0).  
COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14(2) O.REG. 216/10

POINT ID	NORTHING	EASTING
ORP-A	N15372860.85	E1125634.69
ORP-B	N15372205.57	E1125451.33

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

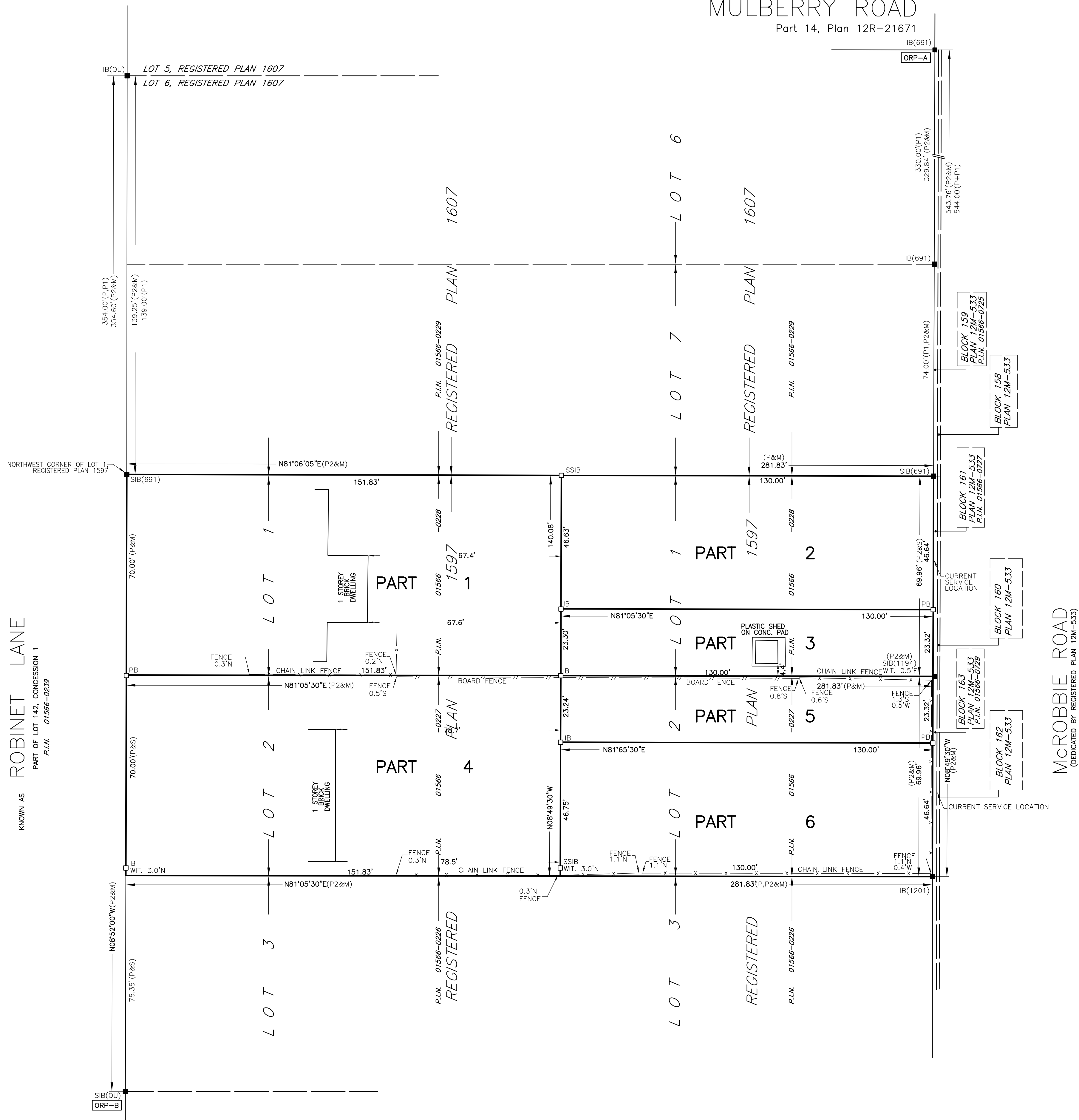


## "IMPERIAL"

Distances and coordinates shown on this plan are in feet and can be converted to metres by multiplying by 0.3048

LOT 1, REGISTERED PLAN 1607  
MULBERRY ROAD

Part 14, Plan 12R-21671



## PARTS SCHEDULE

PART	LOT	PLAN	P.I.N.	AREA
1	ALL OF LOT 1	REGISTERED PLAN 1597	ALL OF 01566-0228	0.244 Acres
2				0.139 Acres
3				0.070 Acres
4	ALL OF LOT 2	REGISTERED PLAN 1597	ALL OF 01566-0227	0.244 Acres
5				0.070 Acres
6				0.139 Acres

## PLAN OF SURVEY

OF  
LOTS 1 & 2,  
REGISTERED PLAN 1597

IN THE  
CITY OF WINDSOR  
COUNTY OF ESSEX, ONTARIO

VERHAEGEN LAND SURVEYORS - A DIVISION OF J. D. BARNES LIMITED.

SCALE : 1"=20'



THE INTENDED PLOT SIZE OF THIS PLAN IS 36" IN WIDTH BY 24" IN HEIGHT  
WHEN PLOTTED AT A SCALE OF 1"=20'

## LEGEND AND NOTES

BEARINGS ARE UTM GRID DERIVED FROM OBSERVED REFERENCE POINTS 'A' AND 'B' BY REAL TIME NETWORK OBSERVATIONS AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE) NAD83 (CSRS) (2010.0).

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999880.

ALL SET SSIB AND PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH SECTION 11 (4) OF O.REG. 525/91.

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
SB	DENOTES	STANDARD IRON BAR
SSIB	DENOTES	SHORT STANDARD IRON BAR
IB	DENOTES	IRON BAR
IRB	DENOTES	ROUND IRON BAR
PB	DENOTES	PLASTIC BAR
CC	DENOTES	CUT-CROSS
CP	DENOTES	STEEL PIN
WT	DENOTES	WITNESS
⊥	DENOTES	PERPENDICULAR
⊂	DENOTES	MEASURED
(S)	DENOTES	SET
PROP	DENOTES	PROPORTION
(D)	DENOTES	DEED
(N)	DENOTES	NOT IDENTIFIABLE
(OU)	DENOTES	ORIGIN UNKNOWN
ORP	DENOTES	OBSERVED REFERENCE POINT
(P)	DENOTES	REGISTERED PLAN 1597
(P1)	DENOTES	REGISTERED PLAN 1607
(P2)	DENOTES	PLAN 12R-29497
(JDB)	DENOTES	J.D. BARNES LIMITED, O.L.S.
(1744)	DENOTES	VERHAEGEN LAND SURVEYORS, O.L.S.
(691)	DENOTES	HOWARD B. HEAD, O.L.S.
(1201)	DENOTES	CLARKE SURVEYS INC. O.L.S.
(1194)	DENOTES	J.B. SMEETON, O.L.S.

N = NORTH; S = SOUTH; E = EAST; W = WEST

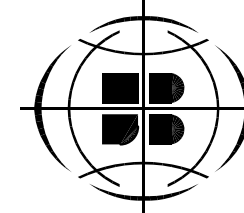
## SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
  - THIS SURVEY WAS COMPLETED ON THE 26th DAY OF JULY, 2024.

DATE August 16th, 2024

ALEC S. MANTHA  
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER 2218412.



**VERHAEGEN**  
LAND SURVEYORS  
A DIVISION OF J.D. BARNES LTD.

SURVEYING  
MAPPING  
GIS

944 OTTAWA STREET, WINDSOR, ON, N8X 2E1  
T: (519) 258-1772 F: (519) 258-1791 www.jdbarnes.com

DRAWN BY: A.J.M.	CHECKED BY: K.H./A.M.	REFERENCE NO.: 24-47-382-00
FILE: 24-47-382-00.dwg	E-1597-0	CAD Date: August 16th, 2024 CAD File: 24-47-382-00.dwg

## Appendix E



## Appendix E

### Public Consultation Meeting

#### Proposed Zoning By-Law Amendment for 3185, 3187, 3189, and 3191 McRobbie Road

On behalf of our client, JD Empire Construction LTD, RJ Planner is hosting an in-person and virtual Public Consultation Meeting at the **Forest Glade Community Centre**, 3215 Forest Glade Drive (Seneca Room) on **Wednesday June 4, 2025** from **5:00pm to 6:00pm**.

The purpose of this meeting is to present a site-specific Zoning By-Law Amendment (ZBA) to permit the following:

- Two (2) 2-storey Semi-Detached Dwellings for a total of four (4) dwelling units. Two (2) parking spaces are proposed for each dwelling unit.

During this session, guests will meet the project team (in person or virtually) and have an opportunity to discuss comments or questions relating to the proposed ZBA.

This meeting is the next step in the ZBA process. The proposed ZBA is required to change the zone from Residential District 1.1 (RD1.1) to Residential District 2.2 (RD2.2).

This meeting is being held in advance of a statutory public meeting required under the Planning Act to obtain approvals. The City of Windsor will be inviting all residents and landowners within 120m of the property limits to additional meetings in the near future.

The In-Person and Virtual Public Consultation Meeting will consist of a brief presentation of the project materials with a live Q&A session for the available period of time.

#### Submit Your Comments

We are looking forward to your input and comments. Written comments, via email or mail, will be accepted until **June 13, 2025** to the following:

**Rita Jabbour, RPP  
Planner**

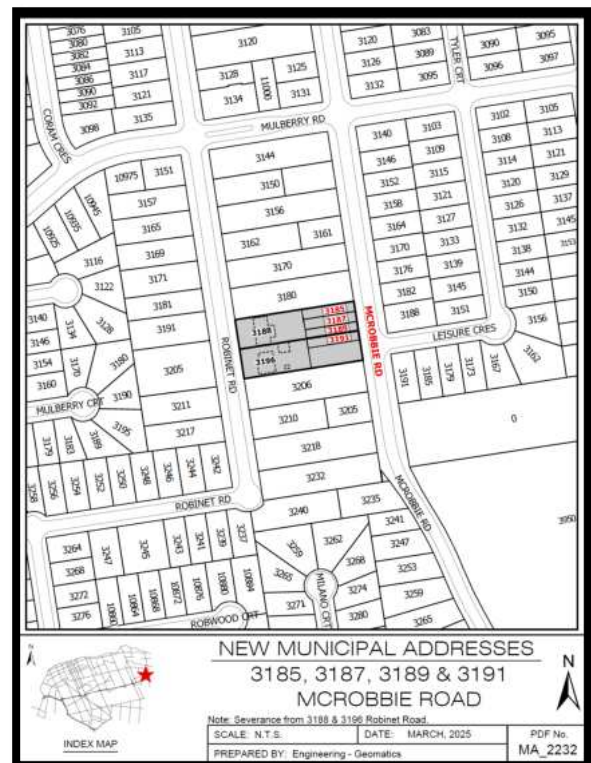
**321 King Street West  
Harrow, ON  
N0R1G0**

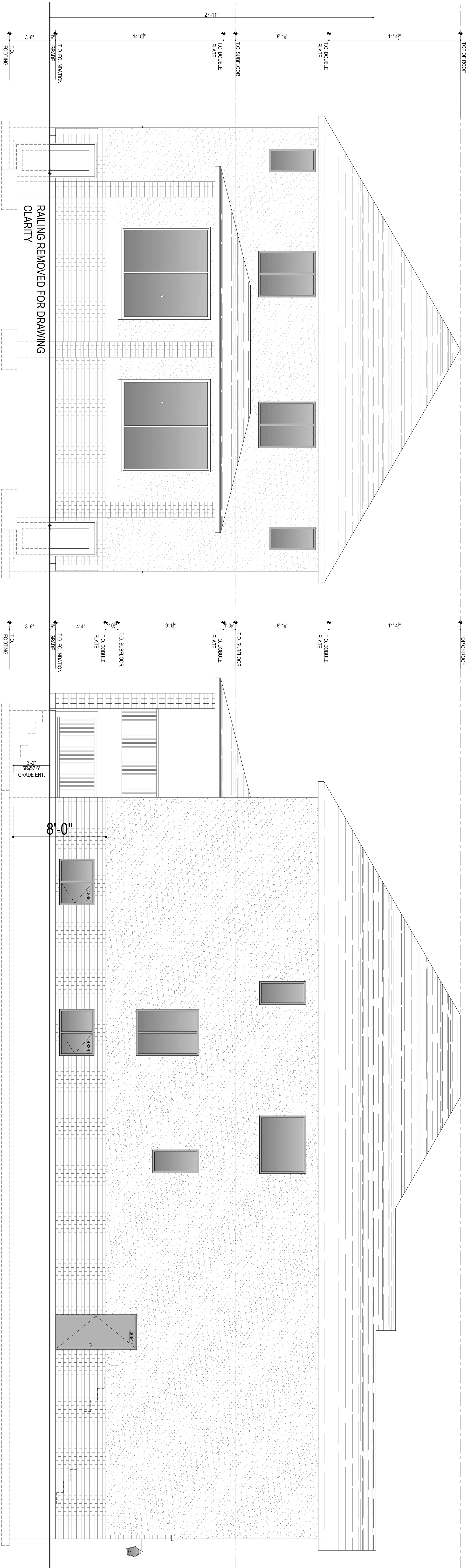
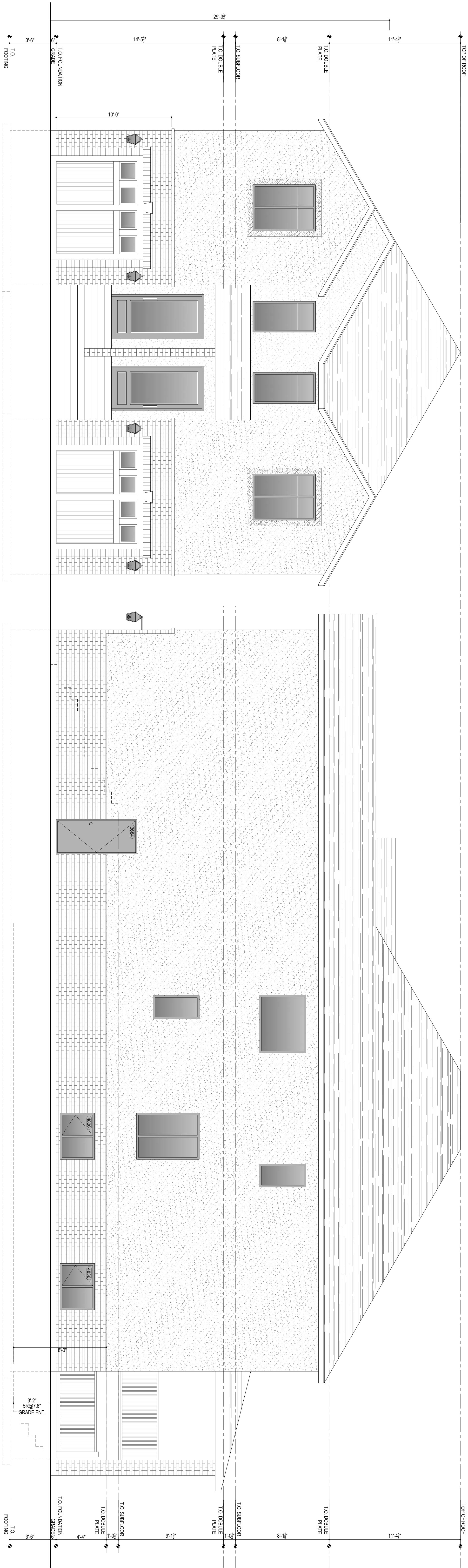
**P.O. Box 1178**

[info@rjplanner.com](mailto:info@rjplanner.com)

#### Virtual PIC Registration

To register for the virtual meeting, please send a request by email to [info@rjplanner.com](mailto:info@rjplanner.com) and a meeting link will be emailed back to you.





## Appendix F

# Appendix F

## Public Information Centre (PIC)

Applicant/Agent: JD Empire Construction

RJ Planner (c/o Rita Jabbour, RPP)

**Purpose:** To provide an opportunity for the Applicant/Agent to consult with citizens who may be impacted by a proposed Zoning By-Law Amendment (ZBA) for a residential development on McRobbie Road.

Applicant has completed a Stage 1 Pre-consultation with City to determine what supporting information is required to address potential concerns.



RJ Planner

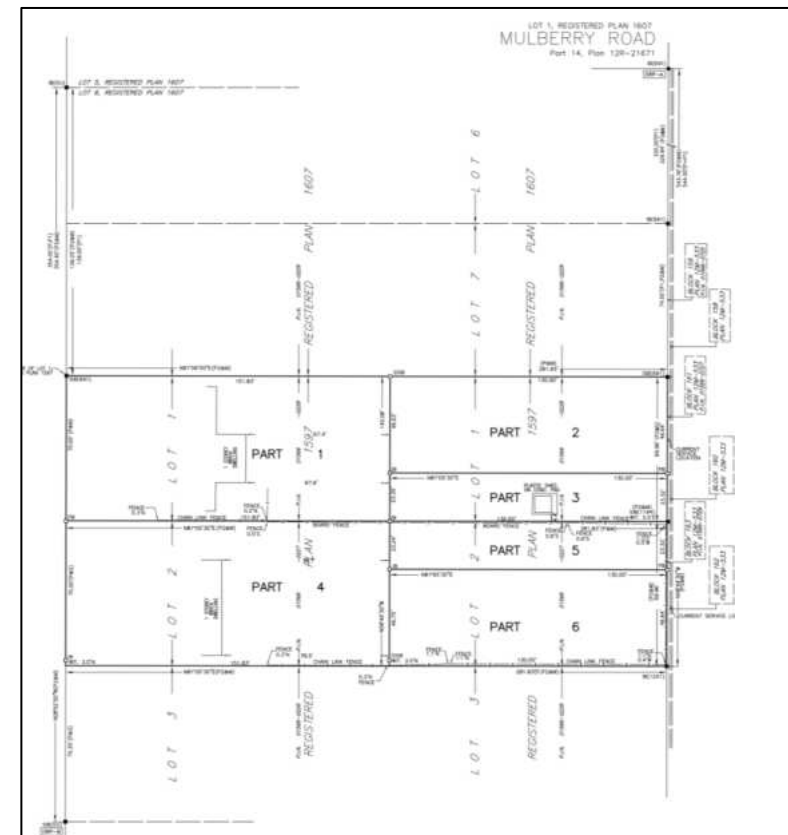
Registered | Professional | Land Use Planners



# Description of Subject Lands

*3185, 3187, 3189 and 3191 McRobbie Road*

- Formerly 3188 and 3196 Robinet Road
- Lots created by severance in November 2024
- Located in a Residential area permitting Single Unit Dwellings only (RD1.1)



RJ Planner

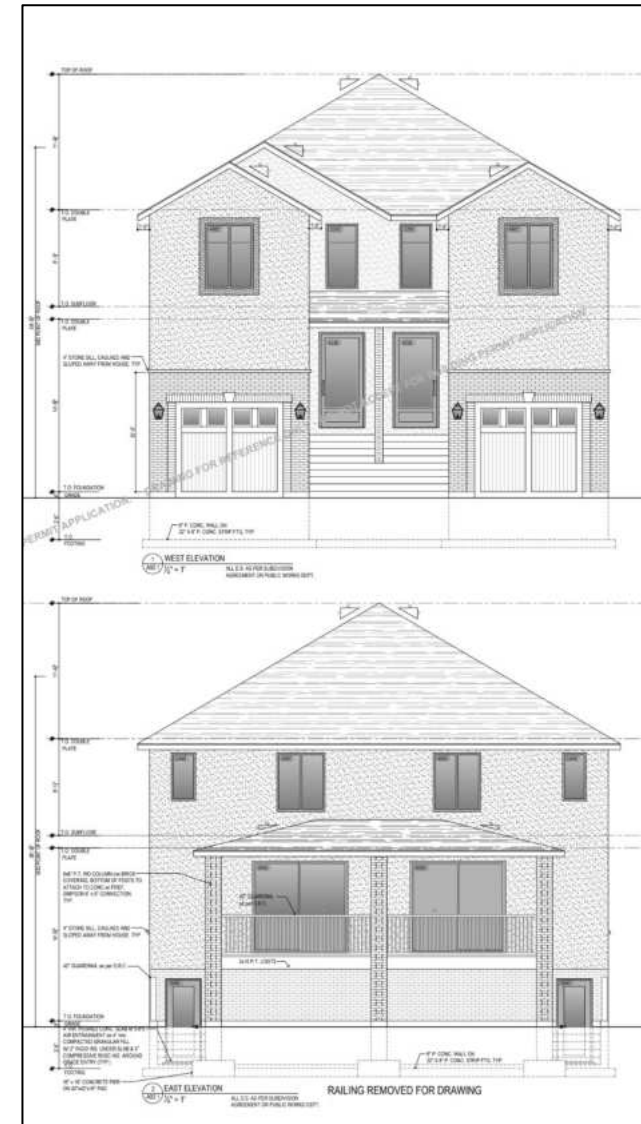
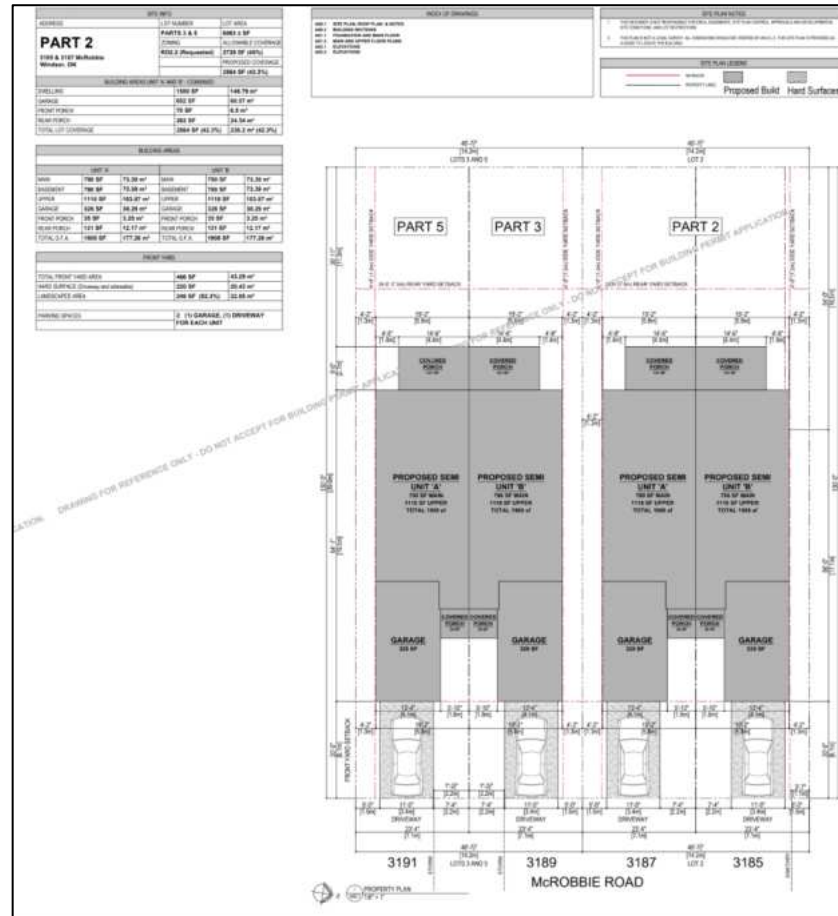
Registered | Professional | Land Use Planners

# Proposed Zoning Amendment

- Two (2) two-storey, *Semi-Detached Dwellings (One dwelling divided vertically into two dwelling units)*
- A total of four (4) *Semi-Detached Dwelling Units* is proposed
- A zoning change is required to permit Semi-Detached Dwellings (RD1.1 to RD2.2)
- Two (2) parking spaces proposed for each unit (1 garage and 1 driveway) (By-law requirement is 1 per unit)
- Complies with all other zoning regulations for RD2.2 (Building height <9m; front, rear and side yard setback; lot coverage <45%)



# Conceptual Site Plan and Building Plans



## RJ Planner

Registered | Professional | Land Use Planners

# Overview of Planning Process

## Planning Act

- Allows for changes to Zoning By-law (s. 34) when decision are consistent with provincial interests (s. 2) and Provincial Planning Statement (PPS, 2024)(s. 3)
- The adequate provision of a full range of housing is a provincial interest

## Provincial Planning Statement (PPS, 2024)

- All planning decisions must be consistent with policies in PPS (2024)
- Planning authorities shall provide for an appropriate range and mix of housing options through redevelopment (policy 2.2)

## Official Plan

- Decisions must conform with the Official Plan
- City of Windsor Official Plan allows Low Profile Dwellings (Semi-Detached Dwellings) in stable neighbourhoods



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# Required Support Studies/Information

- 1. Standard requirements as indicated on Application Form:**  
Conceptual building elevations, floor plans, site plans; deed. ✓
- 2. Planning Rationale Report (PRR):** A Report completed by a Registered Professional Planner (RPP) to explain and justify the proposed rezoning/site-specific provisions and compatibility of the development with the surrounding area.

**The PRR will include a report of the Public Consultation Meeting.**



# Submitted Comments

- Concerns with impact on property values
  - New homes for homeownership
  - Property value is impacted by many factors (age of existing home, location) and is not a planning consideration
- Concerns with traffic and parking
  - McRobbie Road is a local Road designed to carry low volume traffic
  - Two (2) parking spaces included; this exceeds by-law requirements to alleviate parking concerns
- Concerns with impact to character of neighbourhood
  - Proposed development is same housing form as Singles (low profile)
  - Will have similar zoning regulations to Single Detached Dwellings (building height and setbacks); this contributes to maintaining neighbourhood character



# Overview of Next Steps

## Stage 2 Planning Consultation

- Must be completed before a ZBA application can be submitted
- All required support studies/information submitted to City for review and comment.
- Revisions to the support studies/information may be required.

## Development and Heritage Standing Committee

- Committee is appointed by Council
- Committee will review Staff Report on application; host the Statutory Public Meeting; and, make recommendation to Council on Application.

## Council Meeting

- Makes final decision on Application at regular Council meeting.
- Committee recommendation and planning staff report is forwarded to Council.



# How to Submit Feedback

Written comments on the proposal may be submitted through email or mail to the following:

**RJ Planner (c/o Rita Jabbour, RPP)**

321 King Street West

P.O. Box 1178

Harrow, ON, N0R 1G0

[info@rjplanner.com](mailto:info@rjplanner.com)

Comments on proposal will be accepted until **Friday June 13, 2025.**



**RJ Planner**

Registered | Professional | Land Use Planners