



## OPEN HOUSE REPORT

PROJECT NO: 23-042

DATED: JANUARY 19, 2024



27 Princess St., Unit 102  
Leamington, ON N8H 2X8  
519.326.6161 TF 1.844.842.9188  
[bairdAE.ca](http://bairdAE.ca)

Baird AE has been retained by Bullet Investments Inc. to facilitate planning approvals for a proposed redevelopment at 285 Giles Boulevard East in the City of Windsor (City). The development is bordered by Giles Boulevard East to the north, McDougall Street to the east, and existing commercial buildings to the west and south. The proposed development is 0.122 ha in area, and it is proposed to convert the existing 3-storey commercial building into a mixed-use building comprised of 46 residential dwelling units and 150.04 square metre (1,615 square feet) of commercial retail space.

As part of the public consultation strategy, in addition to the Statutory Public Meeting pursuant to Section 34 of the *Planning Act*, the City required that the Applicant submit a Open House Report. This Report is part of the complete application requirement for the Zoning By-law Amendment Application, as identified in the City's Stage 1: Planning Consultation For Zoning By-law Amendment Letter, dated October 19, 2023.

Notice of Electronic Public Open House was sent out to area property owners within 200-metre radius of the subject lands on December 19, 2023, with the Open House scheduled for Tuesday, January 9, 2024 from 6pm to 7pm. The Notice is appended as Appendix A of this Report.

The purpose of the open house was to provide members of the public with opportunities to review, obtain information and comment on the proposed development.

In attendance at the open house was three members of the public, one City Planning Department Staff Member, the Property Owner and Baird AE Inc. A 20-minute presentation was provided, with opportunities to ask any questions on the proposed development. No questions were asked by those in attendance. The Presentation is appended as Appendix B of this Report.

An additional member of the public called on January 10, 2024 to further understand the proposed mixed-use development and details on the proposed dwelling unit types.

As a result, there was no further questions or concerns raised. In summary, it will be great to get this site improved and flourishing again, with the adaptive re-use of the building.

All of which is respectfully submitted.

**BAIRD AE INC.**

*B. Pearce*

Bryan Pearce, HBA, CPT, MCIP, RPP

Principal Planner, Baird AE Inc.

Appendix A

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**Notice of Electronic Public Open House**

# NOTICE OF ELECTRONIC PUBLIC OPEN HOUSE

PROPOSED MIXED-USE DEVELOPMENT  
285 Giles Boulevard East, Windsor, Ontario

The purpose of the public open house is to obtain feedback from area residents and property owners regarding the proposed development, before a formal Zoning By-law Amendment Application is submitted to the City. The development is proposed at 285 Giles Boulevard East (as shown in the area outlined in **blue** on the key map below).

**DATE:** Tuesday, January 09, 2024

**TIME:** 6:00 PM TO 7:00 PM

**LOCATION:** ZOOM Electronic Meeting (please email [bpearce@bairdae.ca](mailto:bpearce@bairdae.ca) by **noon** on January 09, 2024, to obtain the **registration link**)

The Site, in Ward 3, is made up of 2 parcels of land, the parking lot on the southeast corner of Giles and McDougall (0 Giles Boulevard East); and the existing commercial building on the southwest corner of Giles and McDougall (285 Giles Boulevard East).



It is proposed to convert the existing commercial building into a mixed-use building, with 1 commercial retail unit on ground-level; and 46 residential dwelling units within the basement and first to third floors (see the concept plan on the **back** of this notice).

The applicant and representatives will be in attendance at the electronic public open house to answer questions with respect to the proposed development. City of Windsor Staff will also be in attendance as observers.

If you wish to attend the electronic public open house, view the conceptual site and floor plans and elevations, or submit comments to the applicant, please contact Bryan Pearce, HBA, CPT, MCIP, RPP, Principal Planner, Baird AE Inc., 27 Princess Street, Unit 102, Leamington, ON, N8H 2X8, 519-326-6161 Extension 117, [bpearce@bairdae.ca](mailto:bpearce@bairdae.ca).

All comments and concerns will be recorded, placed in a report which will be provided to City staff as part of a complete Zoning By-law Amendment Application. The City of Windsor will be processing an Application for an Amendment to the Zoning By-law in accordance with the requirements of the *Planning Act*. Comments and opinions submitted on this application, including names and addresses, will become part of public records, viewed by the general public, and published in planning reports.

The City will provide official notice in the Windsor Star and will mail a courtesy notice to all property owners and residents within 120 m of the subject lands and hold a statutory public meeting at the Development & Heritage Standing Committee and, later, with City Council in order to make the final decision.



OVERALL CONCEPT PLAN

285 GILES E., WINDSOR, ON N4A 4C5

285 GILES E. - BULLET INVESTMENTS

DATE	2023.07.10
PROJECT NO.	2023.07.10
CLIENT	BULLET INVESTMENTS
LOCATION	285 GILES E., WINDSOR, ON N4A 4C5
SCALE	1:1000
DATE	2023.07.10
PROJECT NO.	2023.07.10
CLIENT	BULLET INVESTMENTS
LOCATION	285 GILES E., WINDSOR, ON N4A 4C5
SCALE	1:1000

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	2023.07.10
2	ISSUED FOR PERMITTING	2023.07.10
3	ISSUED FOR PERMITTING	2023.07.10
4	ISSUED FOR PERMITTING	2023.07.10
5	ISSUED FOR PERMITTING	2023.07.10
6	ISSUED FOR PERMITTING	2023.07.10
7	ISSUED FOR PERMITTING	2023.07.10
8	ISSUED FOR PERMITTING	2023.07.10
9	ISSUED FOR PERMITTING	2023.07.10
10	ISSUED FOR PERMITTING	2023.07.10
11	ISSUED FOR PERMITTING	2023.07.10
12	ISSUED FOR PERMITTING	2023.07.10
13	ISSUED FOR PERMITTING	2023.07.10
14	ISSUED FOR PERMITTING	2023.07.10
15	ISSUED FOR PERMITTING	2023.07.10
16	ISSUED FOR PERMITTING	2023.07.10
17	ISSUED FOR PERMITTING	2023.07.10
18	ISSUED FOR PERMITTING	2023.07.10
19	ISSUED FOR PERMITTING	2023.07.10
20	ISSUED FOR PERMITTING	2023.07.10
21	ISSUED FOR PERMITTING	2023.07.10
22	ISSUED FOR PERMITTING	2023.07.10
23	ISSUED FOR PERMITTING	2023.07.10
24	ISSUED FOR PERMITTING	2023.07.10
25	ISSUED FOR PERMITTING	2023.07.10
26	ISSUED FOR PERMITTING	2023.07.10
27	ISSUED FOR PERMITTING	2023.07.10
28	ISSUED FOR PERMITTING	2023.07.10
29	ISSUED FOR PERMITTING	2023.07.10
30	ISSUED FOR PERMITTING	2023.07.10

BAIRDIAE  
architecture + engineering

1000 SHEPPARD AVENUE EAST  
SUITE 1000  
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Appendix B

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**Open House Presentation**

**ELECTRONIC  
PUBLIC OPEN HOUSE**

**PROPOSED  
MIXED USE  
DEVELOPMENT**

**285 Giles Boulevard East,  
Windsor, Ontario**

Tuesday,  
January 09, 2024  
6:00 p.m. to 7:00 p.m.

Hosted by the  
Applicant Agent:  
Baird AE Inc.

# Welcome

- The purpose of this informal public open house is to provide **information** and obtain **feedback** from neighbours and area landowners regarding the proposed development.
- Please stay on **mute**.
- After a brief **presentation**, I will open the floor for **questions and comments**.
- You can use the **raised hand** feature when you are ready to speak.
- The open house is scheduled for 1 hour, but we can stay longer, if required.
- We want to **hear your ideas** on what you would like to see in your neighbourhood.
- City Staff are also online but **only** to observe.



# The Site

- located in City of Windsor Ward 3
- made up of 2 parcels of land
  - 285 Giles Boulevard East (existing building)
  - 0 Giles Boulevard East (parking lot)
- existing commercial building is vacant
- Convert existing commercial building into a mixed-use building
- the neighbourhood characteristic of the area is a mix of residential and commercial
- the Site has access to nearby transit



# What is Proposed

- It is proposed to convert the existing building into mixed-use building
- 46 residential dwelling units
  - 7 dwelling units below (basement)
  - 11 dwelling units on main floor
  - 14 dwelling units on 2<sup>nd</sup> floor
  - 14 dwelling units on 3<sup>rd</sup> floor
- 150.04m<sup>2</sup> (1615sqft) of commercial retail space located on the ground floor
- 63 parking spaces.
  - 3 accessible parking spaces on-site.
  - 60 standard parking spaces off-site (0 Giles Boulevard East)
- Tenure will be freehold (condo units)



# Concept Plan



**BAIRDIAE**  
 ARCHITECTURE + ENGINEERING

**PARTIAL CONSULTING**

REV	DATE	DESCRIPTION

**DATE:** AUGUST 09, 2023  
**SCALE:** 1/8" = 1'-0"  
**PROJECT NO.:** 2305 GILES BLVD. E, WINDSOR, ON N4N 4C2  
**DESIGNER:** BAIRDIAE ARCHITECTURE + ENGINEERING  
**CONTRACT NO.:** 2305 GILES BLVD. E, WINDSOR, ON N4N 4C2  
**PROJECT NAME:** 285 GILES BLVD. E - BULLET INVESTMENTS  
**OVERALL CONCEPT PLAN**

285 GILES BLVD. E - BULLET INVESTMENTS  
 285 GILES BLVD. E, WINDSOR, ON N4N 4C2

285 GILES BLVD. E - BULLET INVESTMENTS  
 285 GILES BLVD. E, WINDSOR, ON N4N 4C2  
**OVERALL CONCEPT PLAN**

**SHEET NUMBER** 285-285  
**C101**

BAIRDIAE ARCHITECTURE + ENGINEERING, 1000 SHEPPARD AVENUE EAST, SUITE 200, AURORA, ONTARIO M1T 3K5, CANADA. TEL: 416-754-1111. WWW.BAIRDIAE.COM

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GILES BLVD. E.

43.44 m (142.52 ft) OF 1.83 m (6.00 ft) TALL WOOD BOARD PRIVACY FENCE

BUILDING OVERHANG FROM FLOORS 2 & 3 (DASHED LINE)

EXISTING 3 STOREY COMMERCIAL BUILDING TO BE CONVERTED TO COMBINED USE BUILDING W/46 RESIDENTIAL DWELLING UNITS  
BUILDING FOOTPRINT = 1,080.58 m<sup>2</sup> (11,631.27 ft<sup>2</sup>)

PROPOSED COMMERCIAL PORTION AREA = 150.04 m<sup>2</sup> (1,615.80 ft<sup>2</sup>)

EXISTING TREES TO BE REMOVED & REPLACED WITH NEW LANDSCAPING

BUILDING OVERHANG FROM FLOORS 2 & 3 (DASHED LINE)

SEE FLOOR PLAN(S) FOR WINDOW LOCATIONS

14.55 m (47.74 ft) OF 1.83 m (6.00 ft) TALL WOOD BOARD PRIVACY FENCE

HARD SURFACED OUTDOOR AMENITY SPACE AREA = 631.35 m<sup>2</sup> (6,795.80 ft<sup>2</sup>)

PROPOSED LOCATION OF 5 BICYCLE SPACES

HARD SURFACED PEDESTRIAN AREA (IMPRESSIONED ASPHALT)

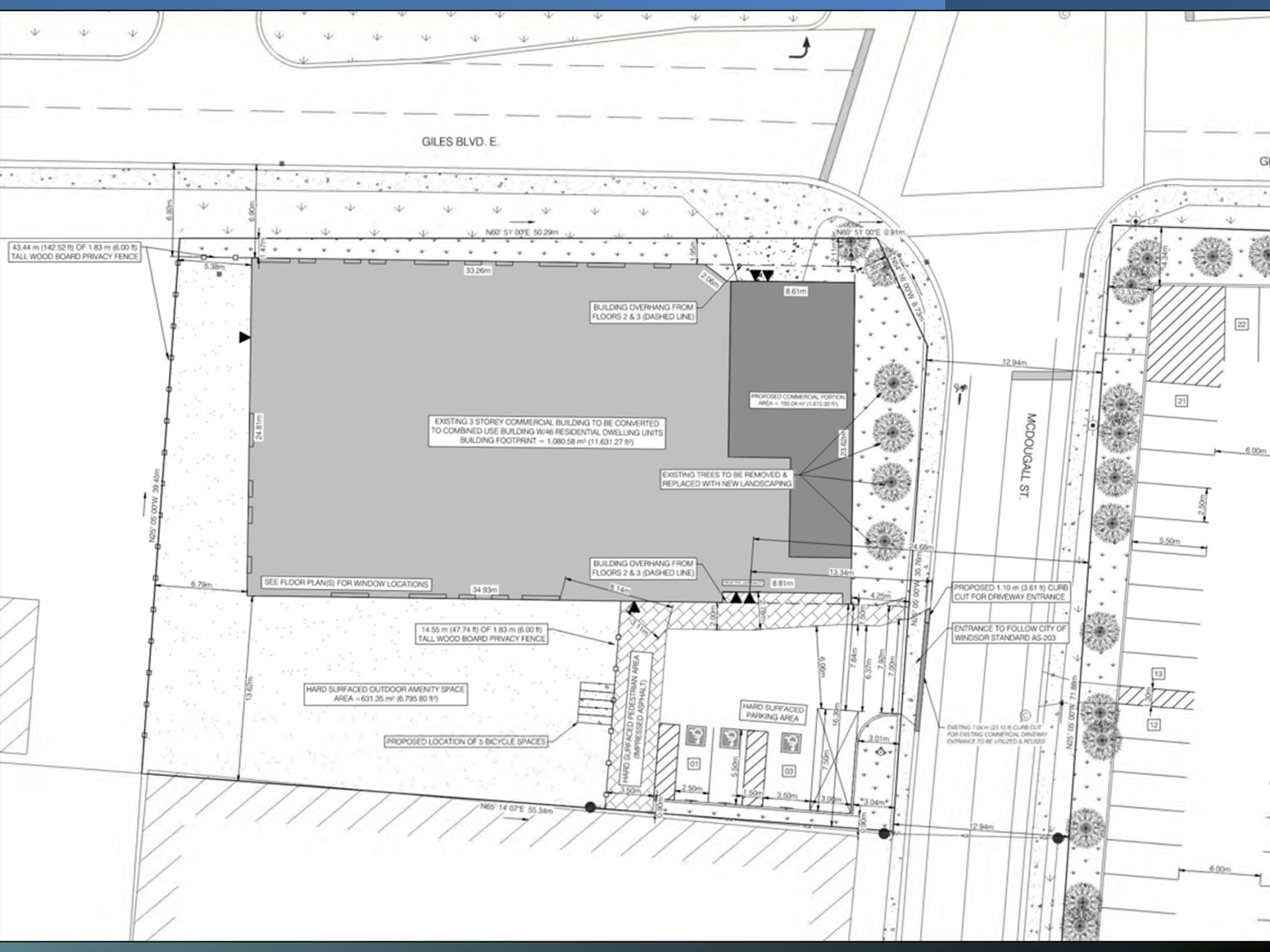
HARD SURFACED PARKING AREA

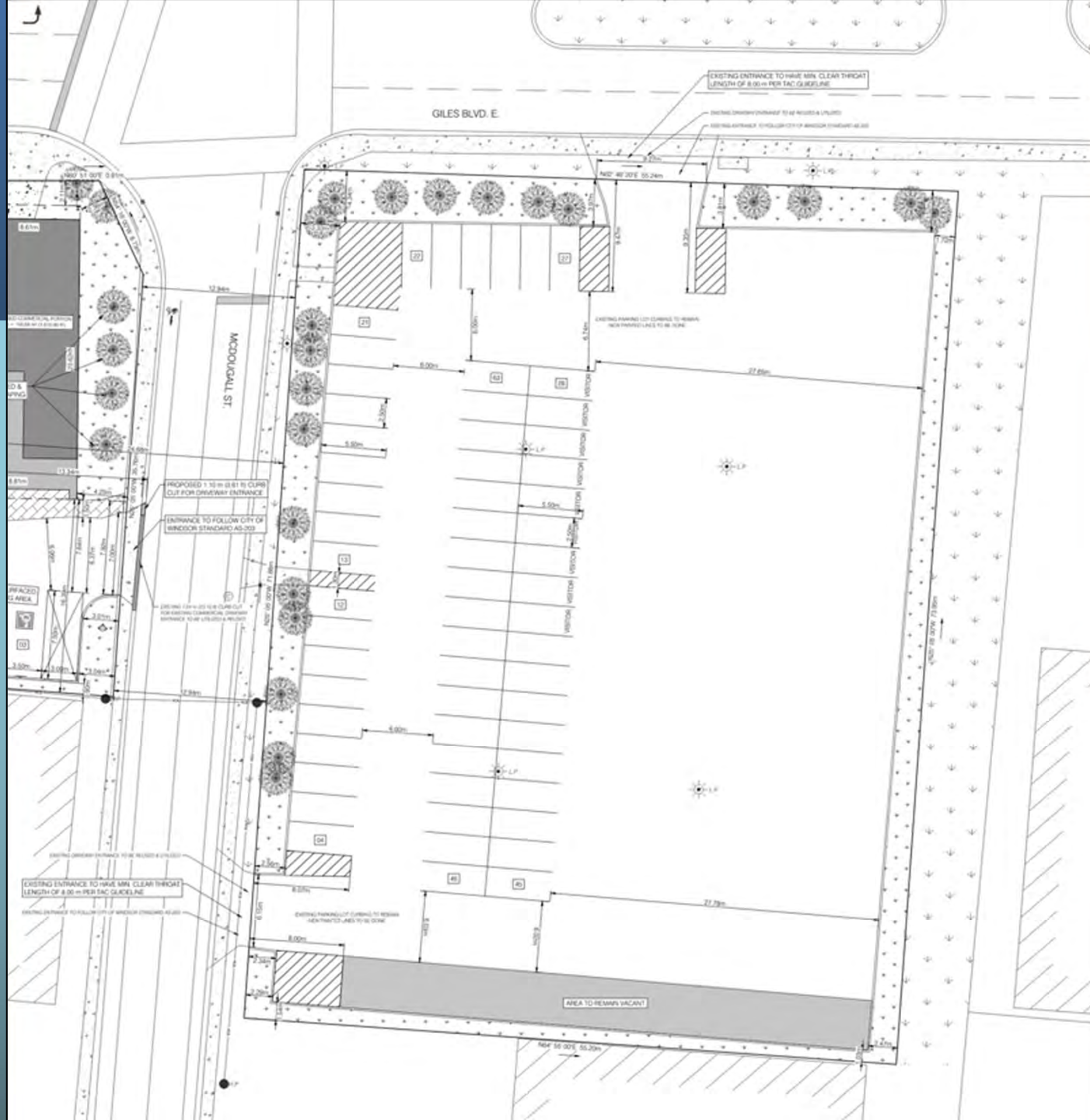
PROPOSED 1.10 m (3.61 ft) CURB CUT FOR DRIVEWAY ENTRANCE

ENTRANCE TO FOLLOW CITY OF WINDSOR STANDARD AS-203

EXISTING 7.04 m (23.10 ft) CURB CUT FOR EXISTING COMMERCIAL DRIVEWAY ENTRANCE TO BE UTILIZED & REUSED

MCDONOUGH ST.





GILES BLVD. E

MCCOLLICAL ST

EXISTING ENTRANCE TO HAVE MIN. CLEAR THROAT LENGTH OF 8.00m PER TAC GUIDELINE

PROPOSED 1.15m (38.1) TO CURB CUT FOR DRIVEWAY ENTRANCE

ENTRANCE TO FOLLOW CITY OF WINDSOR STANDARD AS-203

EXISTING ENTRANCE TO HAVE MIN. CLEAR THROAT LENGTH OF 8.00m PER TAC GUIDELINE

AREA TO REMAIN VACANT



# Key Site Features

- Full municipal services are available (sewers, storm and water)
- Parking area access from Giles Boulevard East and McDougall Street
- Impressed Asphalt Sidewalks linking to public sidewalk on McDougall
- Refuse (garbage and recycling) to be located inside the building
- Private amenity space provided inside and outside.



# Concept Building Rendering and Elevations

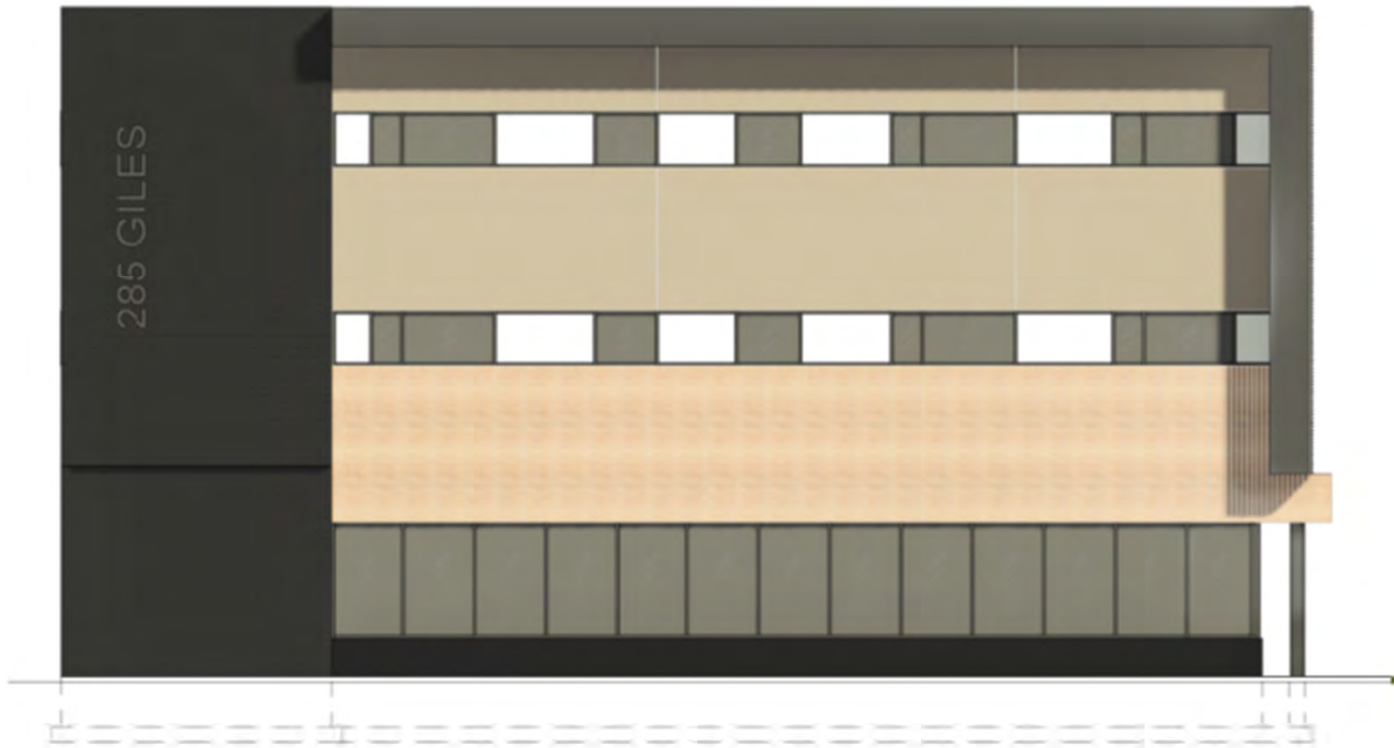




**NORTH ELEVATION (Preliminary)**

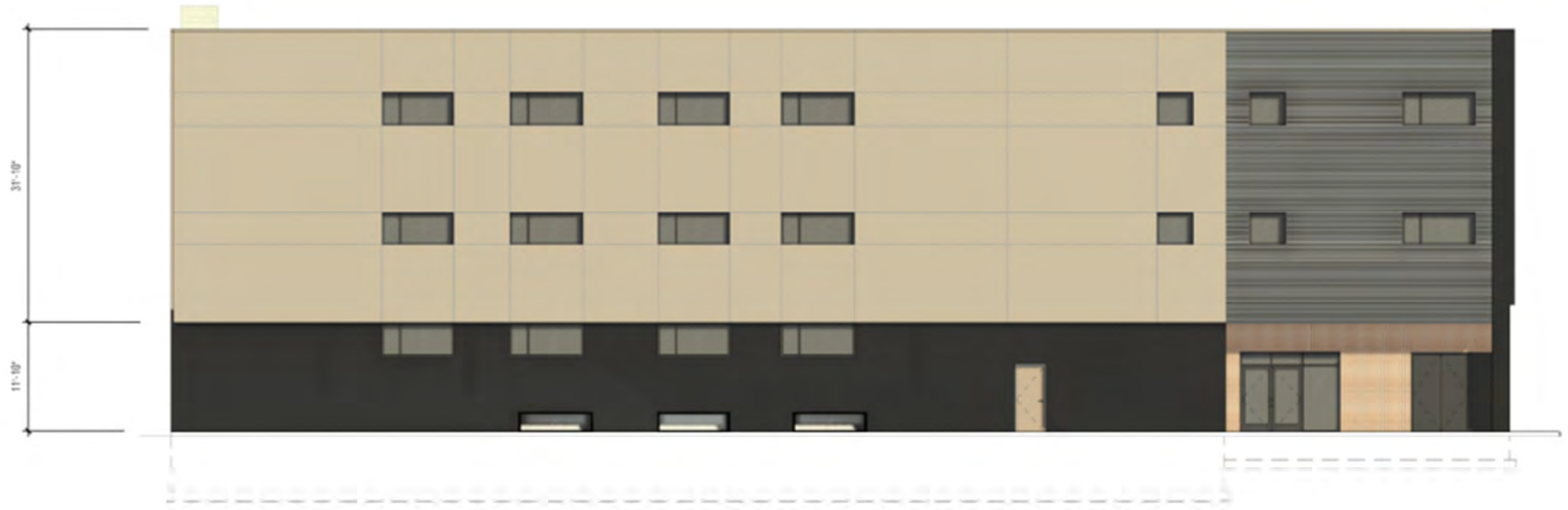
SCALE: 1" = 10'-0"





**EAST ELEVATION (Preliminary)**

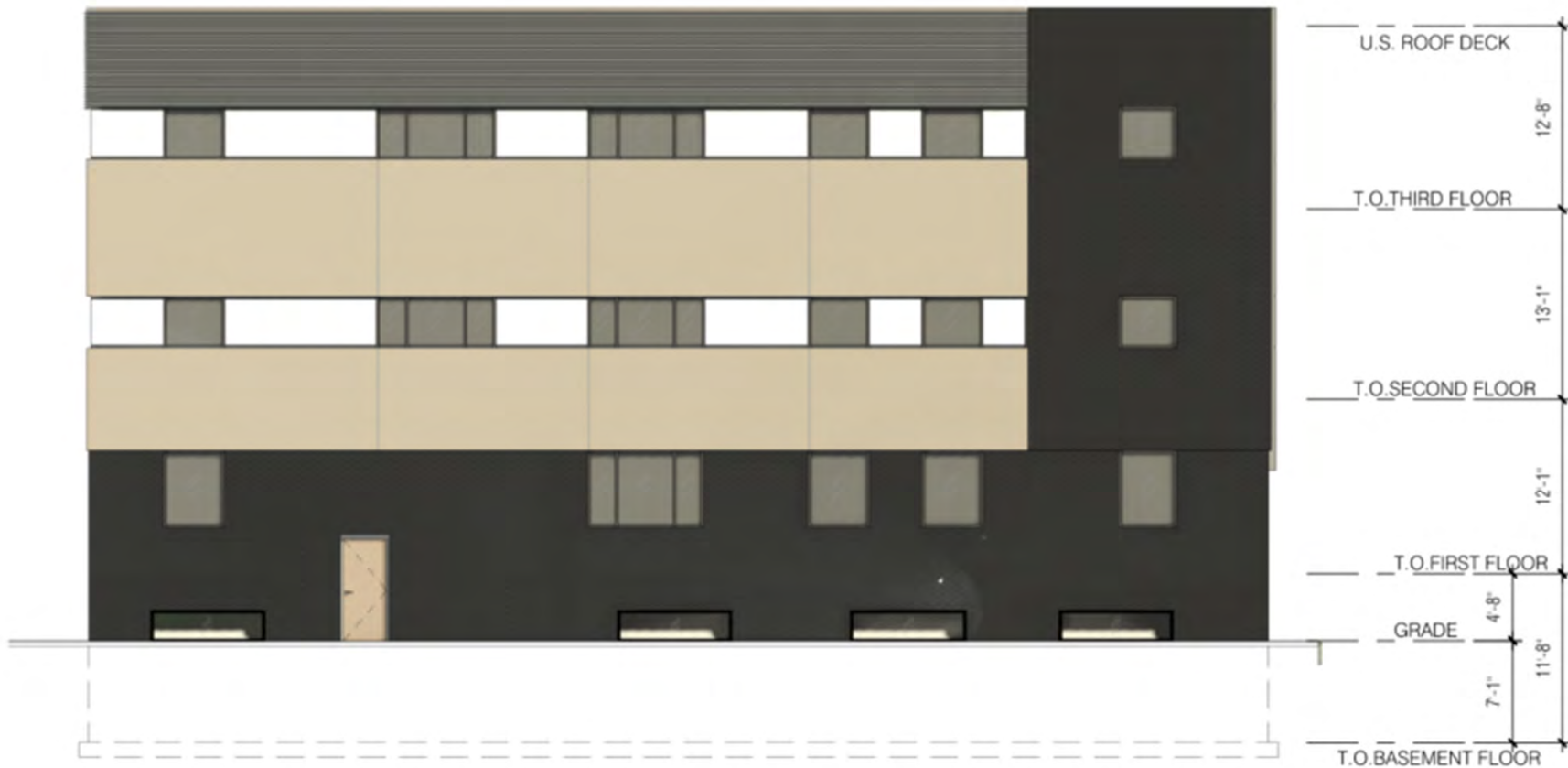
SCALE: 3/32" = 1'-0"



**SOUTH ELEVATION (Preliminary)**

SCALE: 1" = 10'-0"





## **WEST ELEVATION (Preliminary)**

SCALE: 1" = 10'-0"








# Concept Floor Plans



**BASEMENT FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"

**LEGEND**

 BACHELOR UNIT (QUANTITY OF 2 UNITS)	 TENANT COMMON AREAS
 1 BEDROOM UNIT (QUANTITY OF 24 UNITS)	 BUILDING SERVICES
 2 BEDROOM UNIT (QUANTITY OF 14 UNITS)	
(TOTAL QUANTITY OF 40 UNITS)	

285 GILES ST. E.  
 Basement - Preliminary Layout  
 PL - 1

DATE:	22 JUN 2014
PROJECT:	285 GILES ST. E.
NO.	10
DESCRIPTION	BASE
BY	BAIRD AE
DATE	2013.05.01
NO.	11
DESCRIPTION	REVISION
BY	
DATE	
NO.	12
DESCRIPTION	REVISION
BY	
DATE	



**FIRST FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"

**LEGEND**

BACKGROUND UNIT (QUANTITY OF 2 UNITS)	TENANT COMMON AREAS
1 BEDROOM UNIT (QUANTITY OF 30 UNITS)	BUILDING SERVICES
2 BEDROOM UNIT (QUANTITY OF 14 UNITS)	
(TOTAL QUANTITY OF 46 UNITS)	

**285 GILES ST. E.**

**First Floor - Preliminary Layout**

PL - 2

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	10/15/2014
2	REVISED	10/23/2014

DESIGNED BY: [ ]  
 CHECKED BY: [ ]  
 APPROVED BY: [ ]

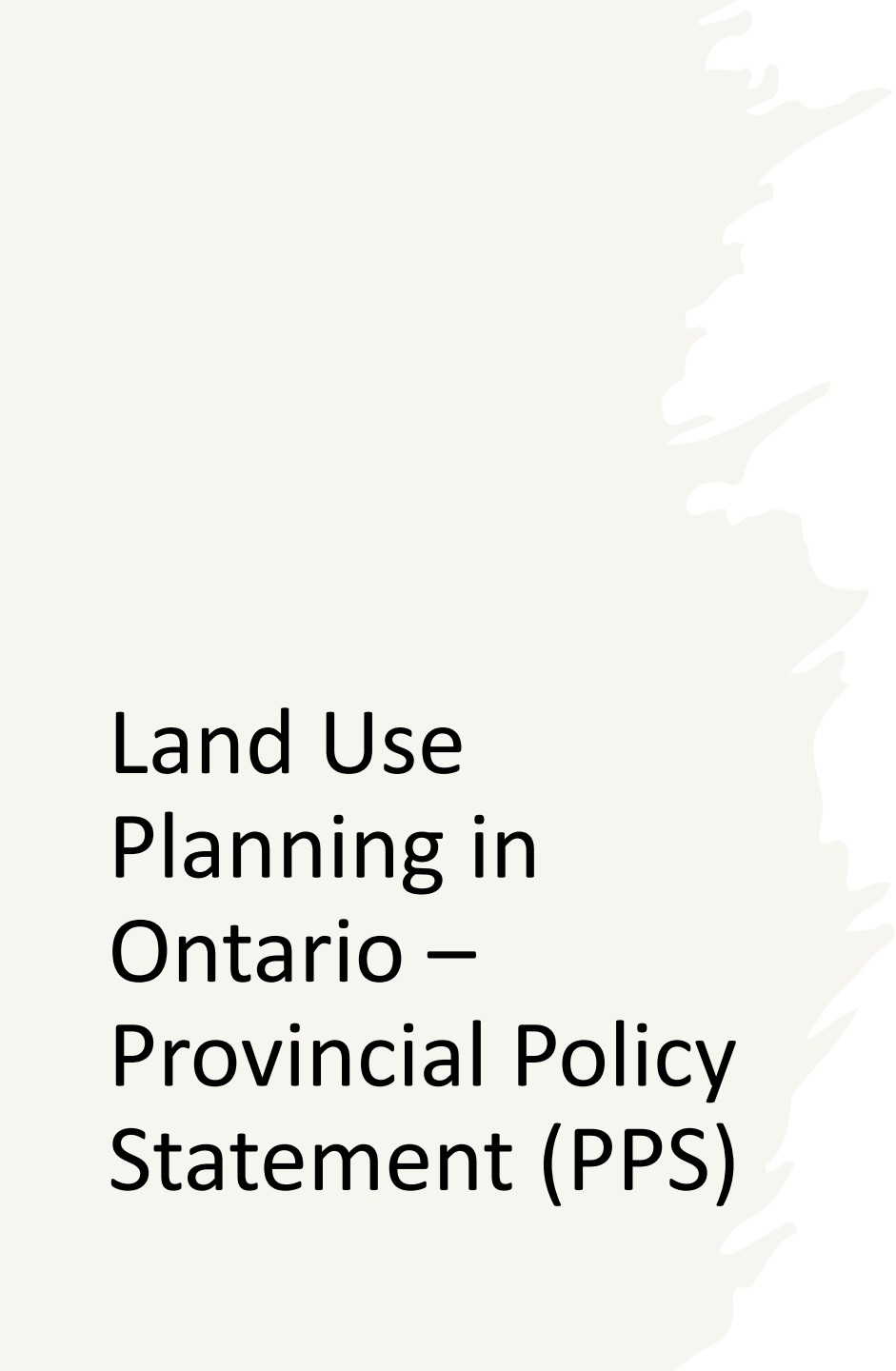


**2ND & 3RD FLOOR PLANS**  
 SCALE: 3/16" = 1'-0"

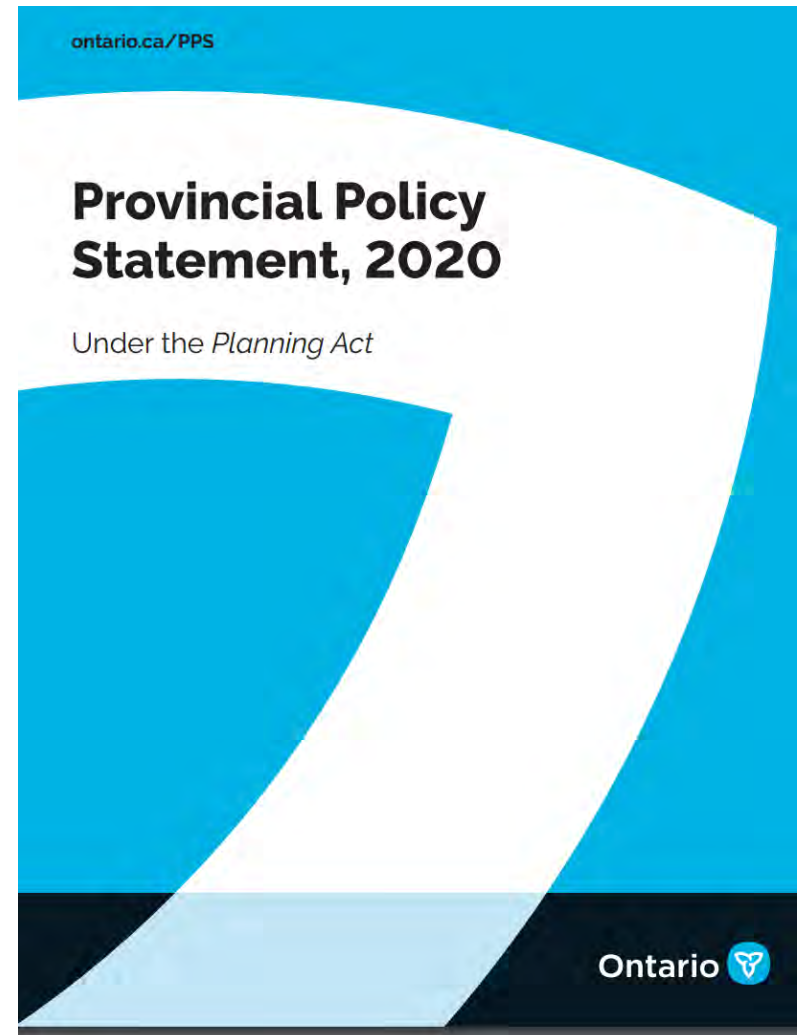
- LEGEND**
- BACHELOR UNIT (QUANTITY OF 2 UNITS)
  - 1 BEDROOM UNIT (QUANTITY OF 30 UNITS)
  - 2 BEDROOM UNIT (QUANTITY OF 14 UNITS)
  - (TOTAL QUANTITY OF 46 UNITS)
  - TENANT COMMON AREAS
  - BUILDING SERVICES

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	2/23/2022

- DESIGN  
 CHECK  
 APPROVE  
 DATE



# Land Use Planning in Ontario – Provincial Policy Statement (PPS)





# Three Main Provincial Policies:



BUILD STRONG,  
HEALTHY COMMUNITIES



WISE MANAGEMENT OF  
RESOURCES



PROTECTING PUBLIC  
HEALTH AND SAFETY

# Key PPS Policies

- Develop within an existing settlement area
- Develop where full municipal services are available
- Encourage infilling and intensification
- Encourage the use of existing public transit and active transportation
- Help minimize land consumption and servicing costs
- Facilitate an efficient development that will positively impact the financial well-being of the City

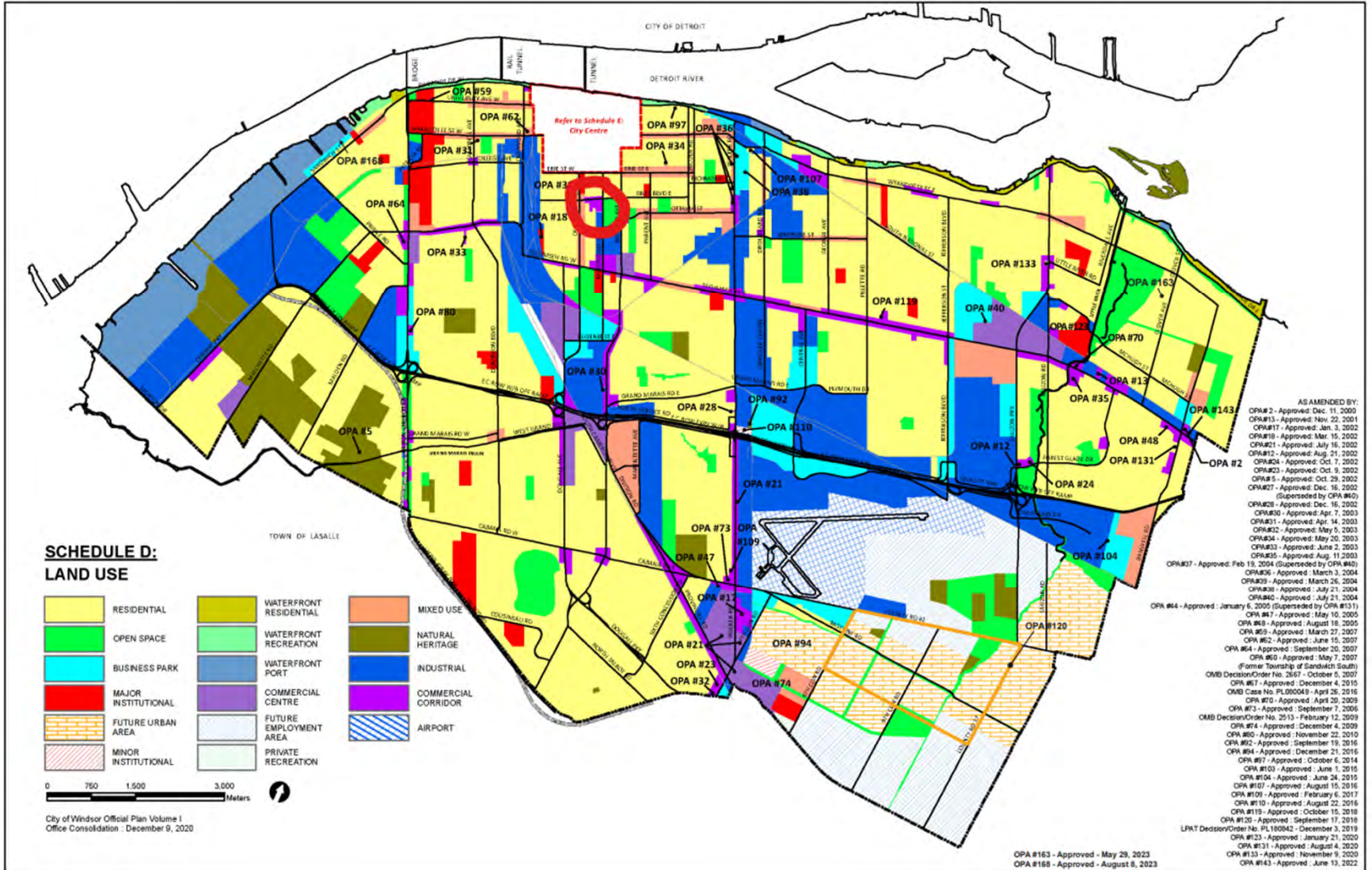
# Windsor Official Plan (OP)



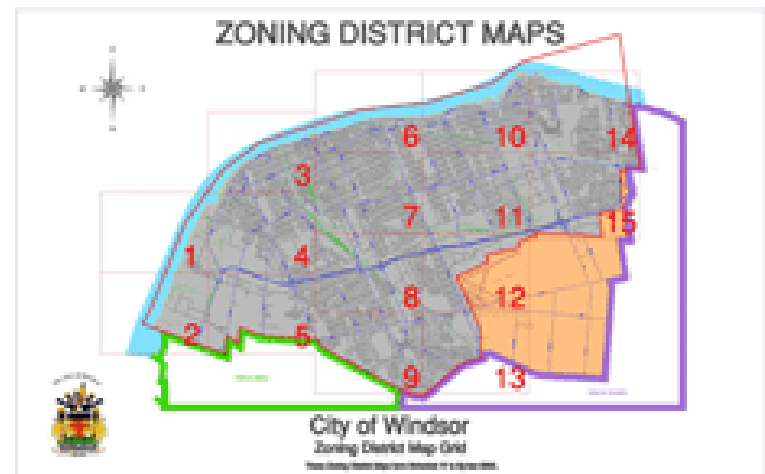
# Key OP Policies

- The lands are designated “Mixed Use Corridor” in the City OP (as per OPA 159)
- Encouraging mixed-use development (commercial and residential)
- A healthy and livable city
- To direct residential intensification to those areas of the City where transportation, municipal services, community facilities and goods and services are readily available
- To support a complementary range of housing forms and tenures
- Ensure development is compatible with its surroundings

# OP - Schedule 'D'



# Windsor Zoning By-law (ZBL)

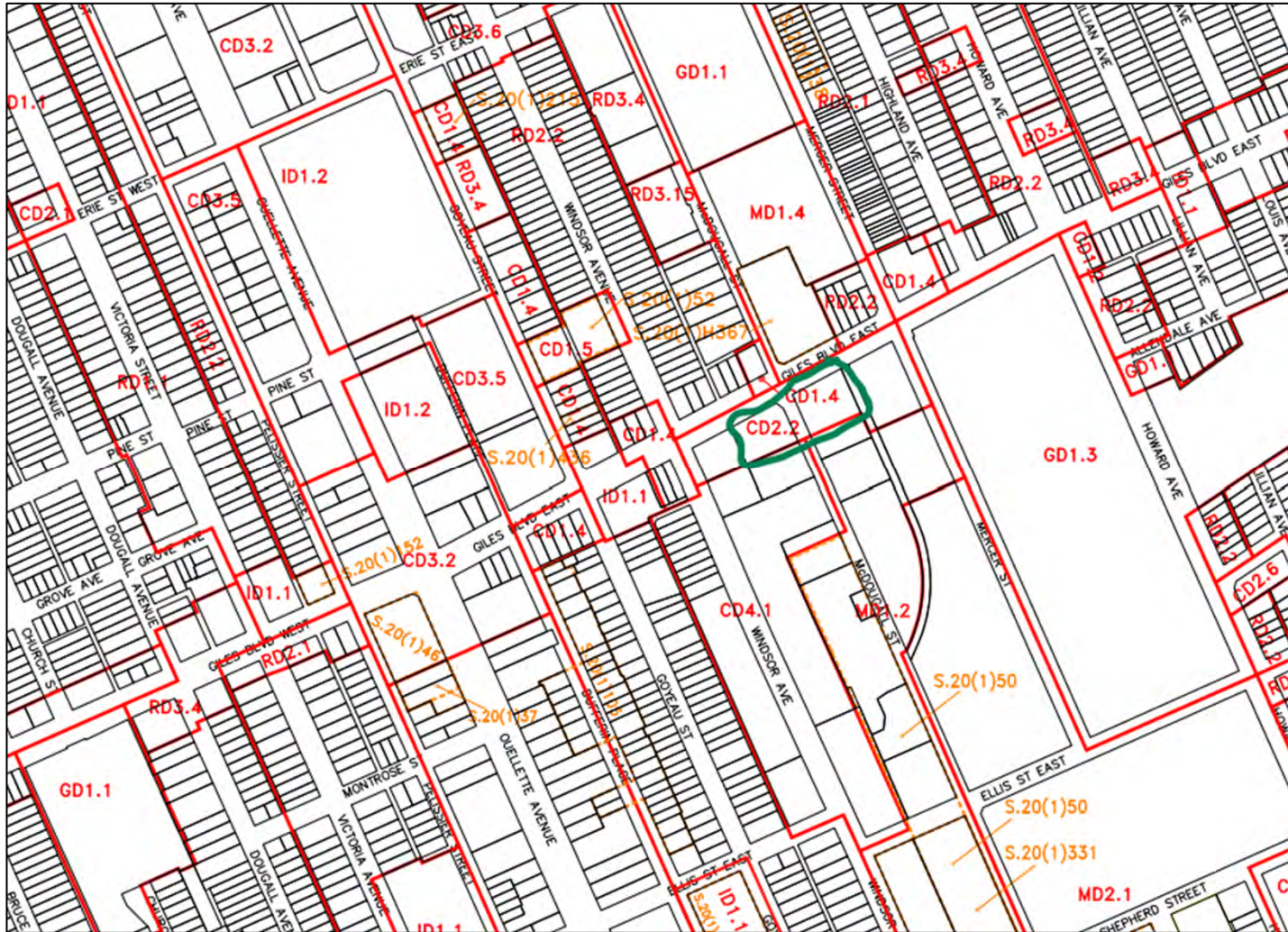




# ZBL Permitted Uses

- The lands are currently Commercial District 2.2 (CD2.2) category
- Map 7 of the City ZBL
- Current permitted uses include:
  - Commercial Uses (Bakery, Business Office, Funeral Establishment, Places of Worship, Retail Stores, etc)
  - Dwelling Units in a Combined use Building with any one or more of the above uses
  - Any use accessory to the preceding uses

# ZBL- Map '7'



## Required Planning Applications

- Zoning By-law Amendment (ZBA)
- Site Plan Control (SPC)
- Building Permit
- Draft Plan of Condominium

## ZBA

- The ZBA for the Site proposes to be changed the zoning from Commercial District 2.2 (CD2.2) category to a site-specific Commercial District 2.2 (CD 2.2 - S.20(1)XX) category
- To permit a combined use building, to allow dwelling units at the same level and below the commercial use (just permitted above).
- Relief from certain regulations is also being requested for off-site parking and parking area separation from a dwelling unit.

# Support Studies Completed

Based on pre-consultation with the City of Windsor, in order to submit the ZBA application, we are required to also provide the following support studies:

- Tree Inventory & Preservation Study
- Sanitary Sewer Study
- Open House and Open House Report

# What is Next?



The Open House notes will be included in the formal Stage 2 planning application submitted to the City of Windsor in the Open House Report, for a Stage 2 ZBA Pre-submission to be accepted by the City of Windsor, in order to proceed to Stage 3 (formal application).



Once the Stage 3 ZBA application is submitted, the City will be processing the application in accordance with the requirements of the *Planning Act*



Public notice of the City of Windsor public meeting will be in the local newspaper and posted on the City website



And a notice is mailed to all property owners located within 200 metres (as per City policy) of the subject parcel will be sent by the City

# Submitting Comments

- If you wish to submit any additional comments on the **concept plan**, please contact:
  - Bryan Pearce, HBA, CPT, MCIP, RPP
  - Principal Planner, Baird AE Inc.
  - 27 Princess Street, Unit 102, Leamington, ON N8H 2X8
  - 519-326-6161 x117
  - [bpearce@bairdae.ca](mailto:bpearce@bairdae.ca)
  - Phone, email, or mail written comments
- Please note that comments and opinions submitted on this application, including names and addresses, may become part of public records, viewed by the general public, and published in planning reports
- Presentation material is available upon request





Questions and  
Feedback?